

## TAX LOT NUMBER

PARCEL #545600-0385

## ADDRESS OF PROPERTY

4244 SHORECLUB DRIVE MERCER ISLAND WA 98040

## LEGAL DESCRIPTION

MERCER WOOD ADD  
PLat Block: L  
Plat Lot: 2

## OWNER OF PROPERTY

GALOTTO JILL RENEE & OSTRO

## PREPARED BY

ANNALEA OVERA  
AXIOM DESIGN BUILD  
5424 BALLARD AVE NW SUITE #204  
SEATTLE, WA 98107  
T (206) 283-9535  
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aovera@axiomdesignbuild.com

## STRUCTURAL ENGINEER

MIKE ANNEE  
ANNEE STRUCTURAL ENGINEERING  
1801 18TH AVENUE SOUTH  
SEATTLE, WA 98144  
T (206) 658-5169  
mike@anneestructural.com

## SCOPE OF WORK

MAJOR REMODEL OF (E) SFR AND NEW 2ND STORY ADDITION

## ZONING

R-8.4

## CONSTRUCTION TYPE

VB; SMOKE DETECTORS

## GROSS FLOOR AREA

ALLOWABLE FLOOR AREA = 5,000 SQ. FT. OR 40% OF LOT AREA WHICHEVER IS LESS

11,254 SQ. FT. x .40% = 4501.6 SQ. FT TOTAL ALLOWABLE

(E) BASEMENT TO REMAIN: 1550 SF  
-1,023 SF  
(PORTION EXCLUDED PER GFA CALC)  
= 527 SF

PROPOSED MAIN FLOOR: 2269 SF  
(INCLUDING GARAGE)

PROPOSED UPPER FLOOR: 1040.54 SF

COVERED 2ND STORY DECK: 106 SF

TOTAL GROSS FLOOR AREA= 3941 SF

## AVERAGE GRADE

80.8'

## BUILDING HEIGHT

TOTAL ALLOWABLE 30'-0" FROM AVG. GRADE  
(E) BUILDING HEIGHT 13'-11 1/4"

PROPOSED BUILDING HEIGHT 25'-11 1/4"

## LOT COVERAGE

TOTAL LOT AREA 11,254 SF  
35% ALLOWABLE  
LOT COVERAGE =3938 SF

EXISTING  
(E) SFR & CARPORT ROOF AREA 2814 SF  
(E) PAVED DRIVEWAY 405 SF

TOTAL (E) LOT COVERAGE 3219 SF

PROPOSED  
SFR AND ATTACHED GARAGE ROOF AREA 2264 SF  
(E) PAVED DRIVEWAY (NEW PAVEMENT) 405 SF  
COVERED PATIOS 209 SF

TOTAL PROPOSED LOT COVERAGE 2878 SF  
TOTAL REMAINING LOT COVERAGE 1060 SF

(E) HARDSCAPE  
(E) ELEVATED DECK 115 SF  
(E) PATIO/WALKWAY 838 SF  
(E) STAIRS 45 SF  
(E) ROCKERIES 308 SF

TOTAL (E) HARDSCAPE AREA 1001 SF

PROPOSED HARDSCAPE  
(E) STAIRS TO REMAIN 45 SF  
(E) ROCKERIES TO REMAIN 308 SF  
PATIO (REVISED) 402 SF  
WALKWAY (REVISED) 200 SF

TOTAL PROPOSED HARDSCAPE AREA 955 SF

## LOT WIDTH

PER MICC 19.16.010-SINCE THE LOT SHAPE IS IRREGULAR, THE LOT WIDTH SHALL BE DETERMINED BY A LOT WIDTH CIRCLE. THE CIRCLE SHALL BE THE LARGEST CIRCLE THAT CAN BE FULLY ACCOMMODATED WITHIN THE BOUNDARIES OF THE LOT

LOT WIDTH: 95'-11 1/4"

## SETBACKS

FRONT: 20'-0"  
REAR: 25'-0"

LOT WIDTH SIDE YARD CALCULATION PER MIC 19.16.010:  
THE AGGREGATE/COMBINED SIDE SETBACKS ARE 17% THE LOT WIDTH AND THE MINIMUM INDIVIDUAL SIDE SETBACK IS 33% OF THE AGGREGATE/COMBINED SIDE SETBACKS

LOT WIDTH 95'-11 1/4" x .17 = 16'-3" FOR COMBINED SIDE YARD SETBACKS

16'-3" x .33 = 5'-4" MINIMUM SIDE YARD SETBACK

VARIABLE SIDE YARD SETBACK CALCULATION PER MICC 19.02.020.C.1.c.iii:

FOR ANY PORTION OF THE SIDE FACADE OF A NONGABLED ROOF END STRUCTURE THAT IS BETWEEN 15 AND 25 FEET FROM EXISTING OR FINISHED GRADE, THE MINIMUM INDIVIDUAL SIDE SETBACK INCREASES TO 7.5 FEET.

SIDE YARDS BASED ON ALL APPLICABLE CALCULATIONS PER CODE:

EAST SIDE YARD : 8'-9"  
WEST SIDE YARD : 7'-6" MINIMUM  
AGGREGATE/COMBINED SIDE YARDS: 16'-3"

## ROOF VENTILATION

PER IRC R806.1-1 SF OF VENTING PER 150 SF OF ROOF (PER 300 IF ROOF VENTILATORS ARE USED)

ROOF 1: 1328 SF NEW ROOF TO BE VENTED  
1328 SF / 150 SF= 8.85 SF (1274.4 SQ. INCHES) REQUIRED

(18'-7" + 16'-8 3/4" + 17'-9 1/2" + 17'-11 1/2") = 71' x 1 1/2"  
CONTINUOUS VENTING STRIP = 8,875 SF = 1278 SQ. INCHES PROVIDED FROM ROOF 1

ROOF 2: 264 SF NEW ROOF TO BE VENTED  
264 SF / 150 SF=1.76 SF (253.4 SQ. INCHES) REQUIRED

(13'-6" + 17'-6 1/2") = 31'-0 1/2" X 1 1/2" CONTINUOUS VENTING STRIP = 3.88 SF = 558 SQ. INCHES PROVIDED FROM ROOF 2

NOTE: EACH RAFTER MUST BE VENTILATED AS PER IRC R806

SEE ROOF PLAN A1.4

## INDOOR AIR QUALITY

-VENTILATION PER SRC M1507  
-ALL NEW EXHAUST DUCTS TO MEET REQUIREMENTS.  
-NEW SOURCE SPECIFIC VENTILATION LOCATION  
\*SEE PLANS FOR ACTUAL SIZING  
-SOURCE SPECIFIC VENTILATION CONTROLLED BY MANUAL SWITCHES AND/OR TIMERS

MECHANICAL VENTILATION PER M1507.3.2(1)  
HEATED FLOOR AREA = 4,067  
# OF BEDROOMS = 3

(CONTINUOUS) AIRFLOW REQ'D. = 75 CFM

HABITABLE ROOMS TO BE VENTILATED w/FRESH-AIR INTAKE, TYP.

(5) PANASONIC FV-GKF32S1 INLETS \* 18CFM = 90 CFM AIRFLOW PROVIDED

-LAUNDRY EXHAUST FAN TO PROVIDE WHOLE-HOUSE VENTILATION PER SRC M1507.3.4. PROVIDE VENTILATION CONTROLS PER SRC M1507.3.2, WITH INTERMITTENT VENTILATION OPERATING AT LEAST ONE HOUR OUT OF EVERY TWO.  
-ALL EXHAUSTS SHALL TERMINATE OUTSIDE NOT LESS THAN 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE/NON-OPERABLE OPENINGS INTO BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES, EXCEPT WHERE OPENING

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## ENERGY SPECIFICATIONS

CLIMATE ZONE 4C KING COUNTY

-ADDITIONS TO EXISTING BUILDINGS THAT ARE GREATER THAN 500 SF OF HEATED FLOOR AREA BUT LESS THAN 1500 SF-3 CREDITS REQUIRED FROM TABLE R406.2

-1.3- EFFICIENT BUILDING ENVELOPE =0.5 CREDITS CLAIMED  
-3.2- HIGH EFFICIENCY HVAC = 1 CREDIT CLAIMED  
-5.2- EFFICIENT WATER HEATING = .05 CREDITS CLAIMED  
= 3 TOTAL CREDITS REQUIRED AND CLAIMED

-REMODEL & NEW COMPONENTS SHALL COMPLY W/TABLE SEC R402.1.1

-PER SEC R401 A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC R401 IS REQUIRED TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

-PER SEC 403.1 EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE.

-PER SEC 402.4 THE BUILDING THERMAL ENVELOPE OF THE REMODEL SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SEC R402.1.1 THROUGH R402.4.4.

-PER R403.2.2 DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE IMC OR THE IRC AS APPLICABLE.

-REMODEL TO REPLACE LESS THAN 60% OF EXISTING LIGHTING.

-MINIMUM 75% OF ALL LUMINARIES SHALL BE HIGH EFFICACY LUMINARIES

## SMOKE DETECTORS

BATTERY OPERATED, BUILDING OWNER OCCUPIED, BUILDING UNDERGOING ONLY RENOVATION SRC 314.4. EXISTING SMOKE DETECTOR LOCATIONS ARE INDICATED ON PLANS BY "ESD" AND NEW SMOKE DETECTOR LOCATIONS INDICATED BY "SD." CARBON MONOXIDE ALARMS INDICATED ON PLANS AS "CM."

## VAPOR RETARDERS

VAPOR RETARDING PAINT WHEN LISTED FOR THIS APPLICATION TO BE USED ON INTERIOR SIDE OF ALL EXTERIOR WALLS AND CEILINGS.

## BUILDING CODES

SEATTLE RESIDENTIAL CODE 2018 (ARCH), SEATTLE BUILDING CODE 2018 (STRL), WA STATE ENERGY CODE 2018, SEATTLE MECHANICAL CODE 2018, WA STATE PLUMBING CODE & AMENDMENTS 2018, SEATTLE ELECTRICAL CODE 2020.

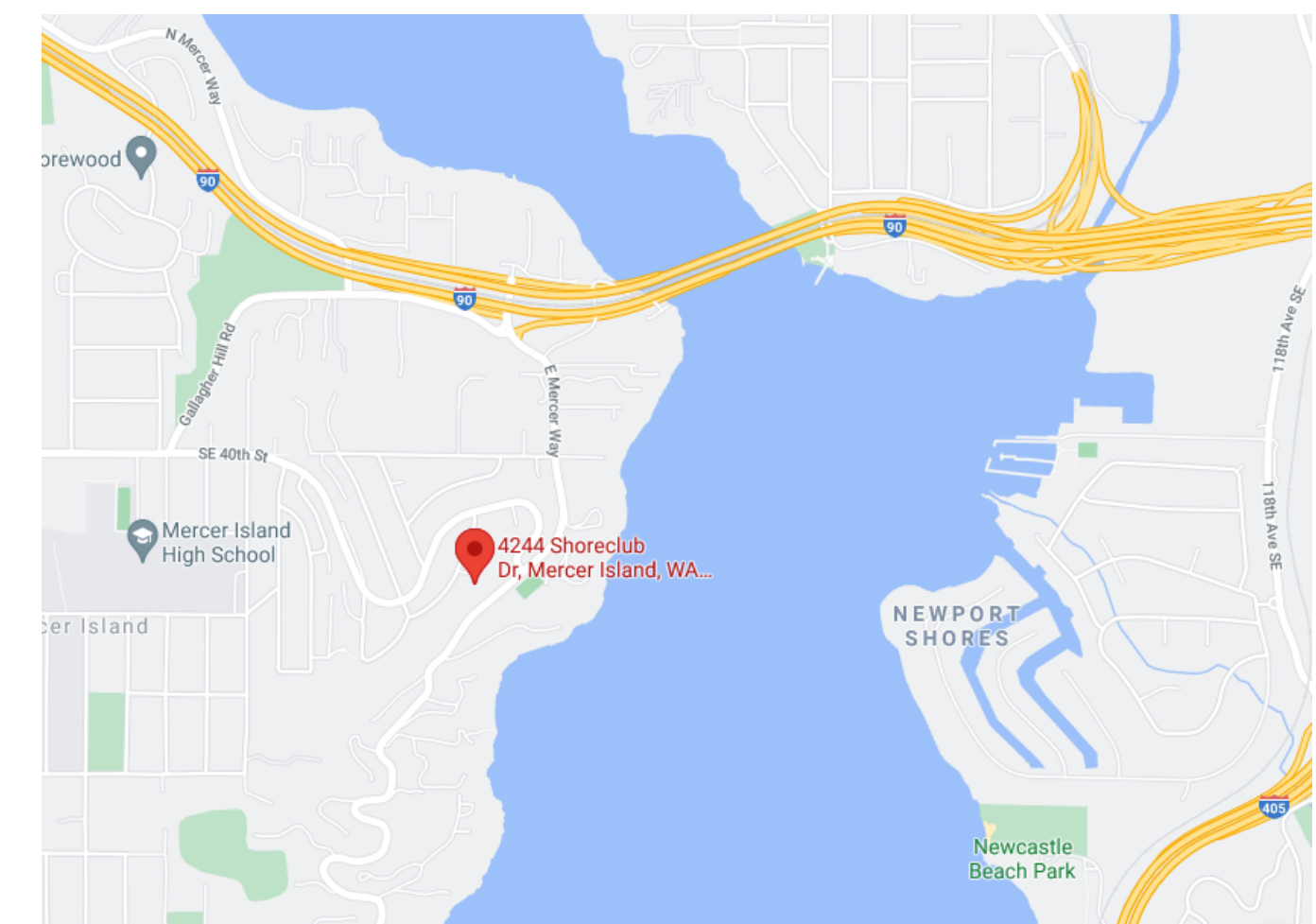
## STAIR GUARDRAIL

STAIRWAYS W/ 4 OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL.

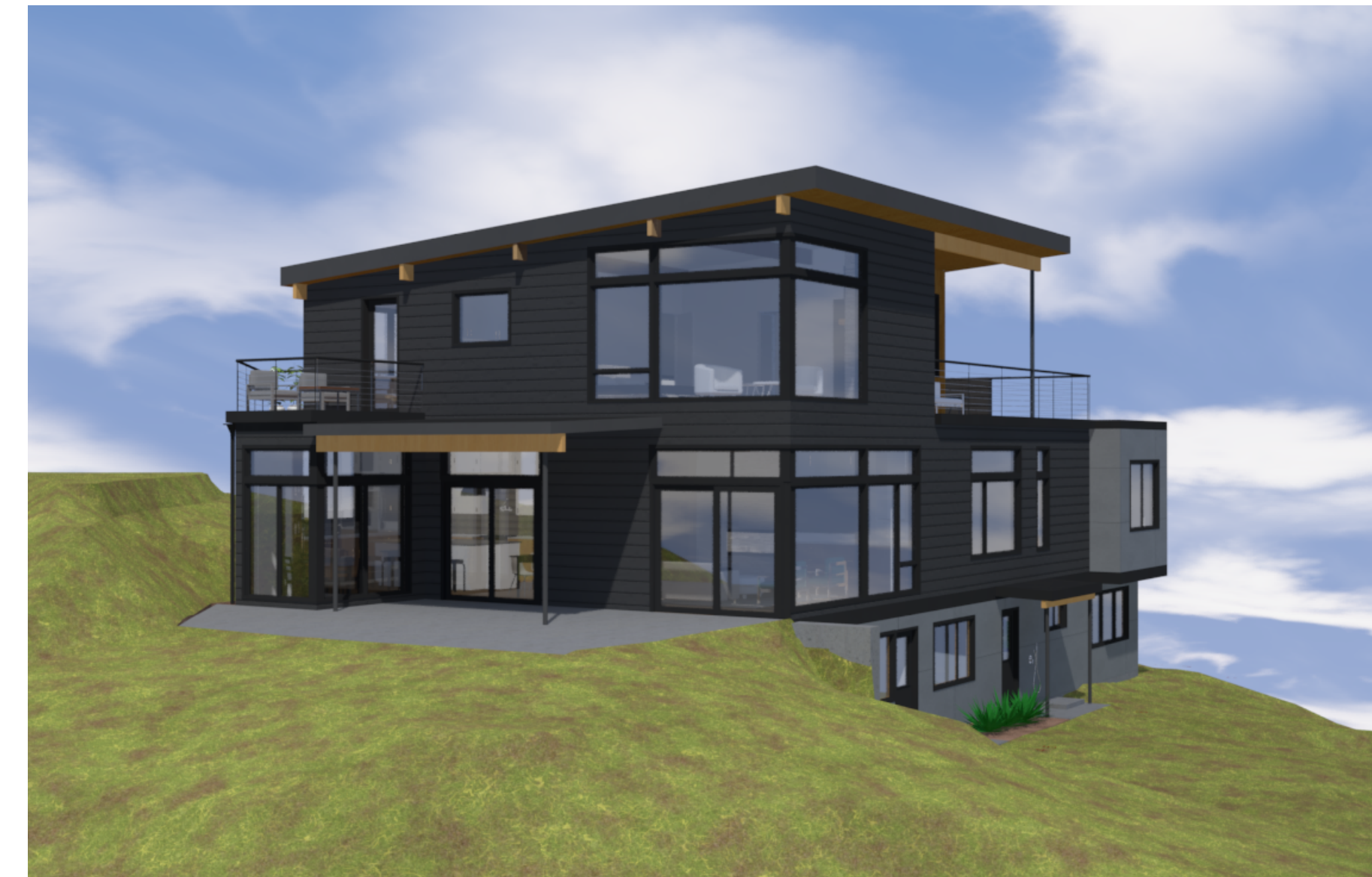
HANDRAIL TO BE 34" TO 38" ABOVE NOSING BALUSTERS/INTERMEDIATE RAILS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. GUARDRAIL HAND GRIP PORTION TO BE NOT LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION HANDRAIL SHALL BE 1 1/2" FROM WALL RETURN HANDRAIL TO NEWEL POST OR WALL.

-CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS AND RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL ACTING IN ANY DIRECTION

SHEET INDEX	
ID	Name
A0.0	COVER SHEET
A0.1	SITE PLAN
A0.2	SITE SURVEY
A0.3	CALCULATIONS
A1.0	DEMO PLANS
A1.1	DEMO PLANS
A1.1	FLOOR PLANS
A1.2	FLOOR PLANS
A1.3	FLOOR PLANS
A1.4	ROOF PLAN
A2.0	EXT ELEV.
A2.1	EXT. ELEV.
A3.0	BLDG. SECTION
A3.1	BLDG. SECTION
A6.0	SCHEDULES
S1.0	STRUCTURALS
S1.1	STRUCTURALS
S2.0	STRUCTURALS
S2.1	STRUCTURALS
S2.2	STRUCTURALS
S2.3	STRUCTURALS
S3.0	STRUCTURALS
S3.1	STRUCTURALS
S3.2	STRUCTURALS
S3.3	STRUCTURALS



LOCATION MAP  
NOT TO SCALE



## TREE PROTECTION AREA

TREE PROTECTION FENCING REQUIRED AROUND ENTIRE DRIP LINE ON THE PERMIT SITE (THE TREE PROTECTION AREA - TPA:

-FENCING MUST BE INSTALLED PRIOR TO DEMOLITION AND GROUND DISTURBANCE;  
-KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION;  
-MODIFICATIONS BY APPROVAL OF PROJECT PLANNER ONLY  
-NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN A FENCED AREA(S), SUCH AS BUT NOT LIMITED TO: MATERIAL STORAGE / STOCKPILING, PARKING, DUMPING OR WASHING.

## FIRE SPRINKLERS

NEW FIRE SPRINKLERS REQUIRED THROUGHOUT. REMODELS EXCEEDING 50% VALUATION ARE REQUIRED TO INSTALL A NFPA 13d SPRINKLER SYSTEM.

## CRITICAL AREA REVIEW

CRITICAL AREA REVIEW TYPE 2 - CA022-004 HAS BEEN APPROVED BY THE CITY OF MERCER ISLAND

## GENERAL NOTES

-CONTACT ARCHITECT IMMEDIATELY CONCERNING ANY DISCREPANCIES IN THE DRAWINGS PRIOR TO PROCEEDING WITH WORK IN THE AFFECTED AREA.

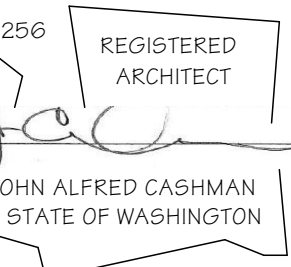
-ALL APPLICABLE CODES, ORDINANCES, AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWING NOTES, SPECIFICATIONS, AND SIZES

-VERIFY ALL DIMENSIONS BEFORE BEGINNING WORK  
-DO NOT SCALE DRAWINGS  
-PROVIDE APPROVED DRAFTSTOPPING IN CONCEALED SPACE BETWEEN CEILING AND FLOOR PER IRC.

-PROVIDE SOLID WOOD BLOCKING FOR SUPPORT AT ALL WALL MOUNTED FIXTURES  
-FLASH ALL OPENINGS WITH MINIMUM 26 GAUGE GALVANIZED OR ALUMINUM  
-ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.  
-SPRAY-FOAM INSULATION TO BE ICYNENE CLASSIC MAX (ESR-1826) OR SIMILAR.

-SPRAY-FOAM INSULATION SHALL BE INSTALLED BY A CERTIFIED INSTALLER. A COPY OF THE INSTALLERS CERTIFICATE SHALL BE ON SITE.  
-EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION. 2X4 FARMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-15 AND 2X6 FRAMED WALLS SHALL BE INSULATED TO A MIN. OF R-21.

AXIOM DESIGN BUILD  
5424 BALLARD AVENUE NW  
SEATTLE ,WA 98107  
(206) 283-9535



OSTROFF GALOTTO  
4244 SHORECLUB DRIVE MERCER ISLAND WA 98040

PROJECT NUMBER:  
A2834

PERMIT  
PERMIT NUMBER:

DRAWING SET DATE:  
06/08/22

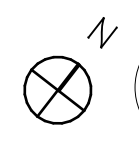
REVISIONS:

# A0.0

COVER SHEET

DCI SEAL




 1 SITE PLAN  
 SCALE: 1" = 10'

AXIOM DESIGN BUILD  
 5424 BALLARD AVENUE NW  
 SEATTLE, WA 98107  
 (206) 283-9535



9256 REGISTERED ARCHITECT  
 JOHN ALFRED CASHMAN  
 STATE OF WASHINGTON

OSTROFF GALIOTTO  
 4244 SHORECLUB DRIVE MERCER ISLAND WA  
 98040

PROJECT NUMBER:  
**A2834**

PERMIT  
 PERMIT NUMBER:

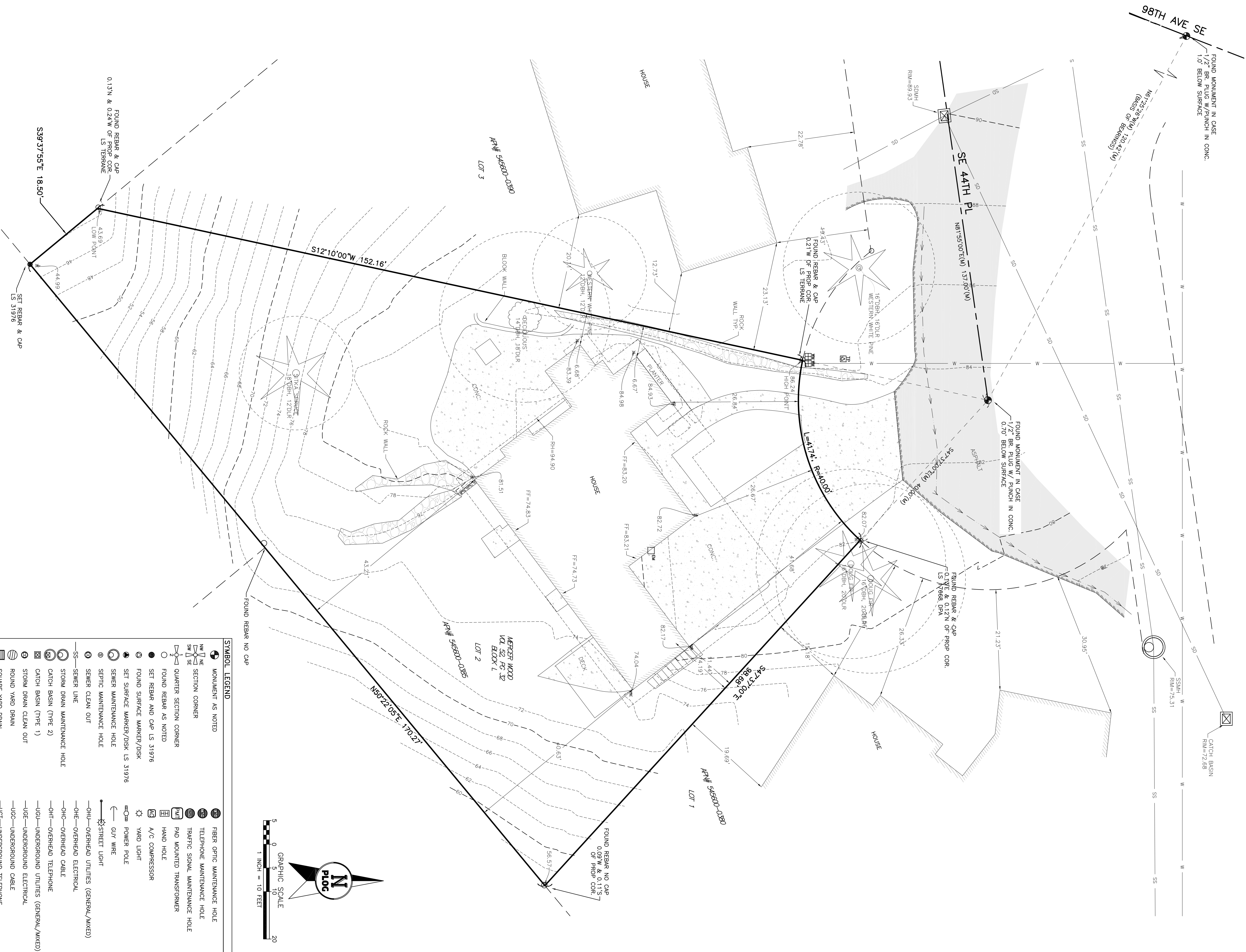
DRAWING SET DATE:  
**06/08/22**

REVISIONS:

**A0.1**

SITE PLAN

DCI SEAL



- GENERAL NOTES**
1. INSTRUMENT FOR THIS SURVEY WAS A 3-SECOND LEICA TCA 1130 SURVEY TOTAL STATION/RANGE FINDER.
  2. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET FORTH IN THE 1988 SURVEYING ACT AND REGULATIONS AS AMENDED BY A FIELD TRAVERSE.
  3. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OPERATIONS, UTILITY LOCATOR BY THIRD PARTIES, AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES EXIST ON THIS SITE AND UTILITIES NOT SHOWN ON THIS SURVEY MAY BE OTHERWISE NOTED.
  4. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.
  5. CONTOURS SHOWN ARE BASED ON A FIELD SURVEY.
  6. TREE IDENTIFICATION WAS PERFORMED BY SURVEY FIELD PERSONNEL AND SHOULD BE CONSIDERED A BEST GUESS. AN ARBORIST SHOULD BE CONSULTED FOR A COMPLETE AND DETAILED IDENTIFICATION OF TREE SPECIES AND HEALTH.

**PROJECT INFORMATION**

**SURVEYOR:** PLOG ENGINEERING, PLLC  
12254 S.F. (0.281 ACRES ±)  
RAVENSDALE, VA 98051  
PH: (206) 420-7130

**PROPERTY OWNER:** JILL RENEE GALIOTTO & HENRI OSTROFF  
4244 SHORECLUB DR.  
MERCER ISLAND, WA 98040

**TAX PARCEL NUMBER:** 545600-0385

**PROJECT ADDRESS:** 4244 SHORECLUB DR.  
MERCER ISLAND, WA 98040

**PARCEL AREA:** AS SURVEYED

**REFERENCE SURVEYS:**

P1 - PLAT OF MERCER WOOD, VOL. 52, PGS. 32-33  
R2 - AP# 545600-0385

**ABBREVIATION LEGEND**

MON = MONUMENT  
BN = BOUNDARY POINT  
PL = PLAT  
BLA = BOUNDARY LINE ADJUSTMENT  
DBH = DIAMETER AT BREAST HEIGHT (FT)  
FPL = FIELD PLANT  
APN = ASSessor'S PARCEL NUMBER  
AF# = AUDITOR'S FILE NUMBER  
M = AS MEASURED  
P = PER PLAT  
D = PER DEED  
H = HELD REFERENCE SURVEY

**SYMBOL LEGEND**

MONUMENT AS NOTED

SECTION CORNER

QUARTER SECTION CORNER

FOUND REBAR AS NOTED

SET REBAR AND CAP LS 31976

FOUND SURFACE MARKER/DISK

SET SURFACE MARKER/DISK LS 31976

SEWER MAINTENANCE HOLE

SEPTIC MAINTENANCE HOLE

SEWER CLEAN OUT

SEWER LINE

STORM DRAIN MAINTENANCE HOLE

STORM DRAIN (TYPE 2)

CATCH BASIN (TYPE 1)

STORM DRAIN CLEAN OUT

ROUND YARD DRAIN

SQUARE YARD DRAIN

STORM DRAIN LINE

WATER MAINTENANCE HOLE

WATER VALVE

WATER METER

FIRE HYDRANT

BLOW OFF VALVE

IRRIGATION VALVE/JUNCTION

WATER LINE

GAS VALVE

CGM GAS METER

GAS LINE

CABLE RISER

CTV CABLE BOX

CABLE MAINTENANCE HOLE

FIBER OPTIC MAINTENANCE HOLE

TELEPHONE MAINTENANCE HOLE

TRAFFIC SIGNAL MAINTENANCE HOLE

PAID MOUNTED TRANSFORMER

HAND HOLE

YARD LIGHT

A/C COMPRESSOR

GUY WIRE

STREET LIGHT

OVERHEAD UTILITIES (GENERAL/MIXED)

OVERHEAD ELECTRICAL

OVERHEAD CABLE

OVERHEAD TELEPHONE

UNDERGROUND UTILITIES (GENERAL/MIXED)

UNDERGROUND ELECTRICAL

UNDERGROUND CABLE

UNDERGROUND TELEPHONE

UNDERGROUND FIBER OPTIC

BOLLARD

WALLBOX

SNAG

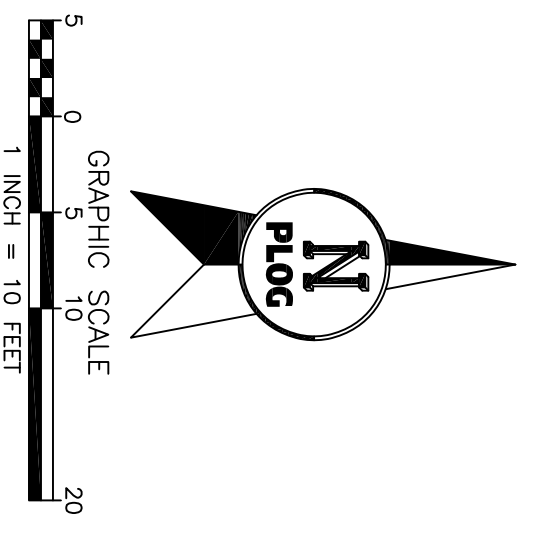
WETLAND FLAG

DECIDUOUS MULTI-TRUNK

DECIDUOUS

CONIFER MULTI-TRUNK

CONIFER



**VERTICAL DATUM & CONTOUR INTERVAL:**

ELEVATIONS SHOWN ON THIS DRAWING ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83) AND WERE ESTABLISHED USING RTK GPS.

2.0' CONTOUR INTERVAL, THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 2.0' THE CONTOUR INTERVAL OR ± 1.0' FOR THIS PROJECT.

**LEGAL DESCRIPTION**

LOT 2, BLOCK L OF MERCER WOOD ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGE 32, RECORDS OF KING COUNTY WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.



**PLOG ENGINEERING**  
Surveyors & Civil Engineers

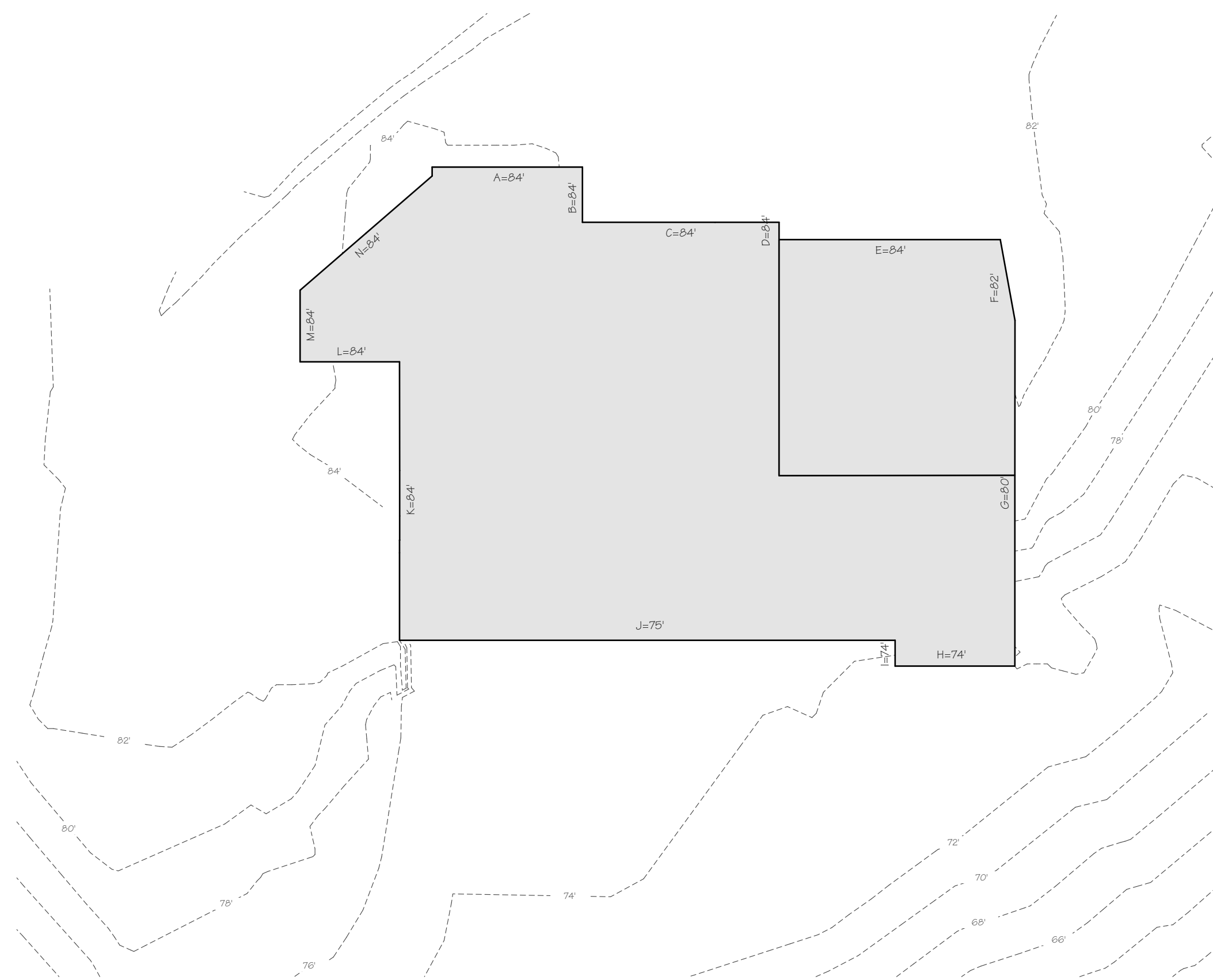
P.O. Box 412  
Ravensdale, WA 98051  
(206) 420-7130  
www.PlogEngineering.com

NET/4, NET/4, SEC. 18, TWP. 24N, RING SE. WM.  
BOUNDARY & TOPOGRAPHIC SURVEY

GALIOTTO/OSTROFF  
4244 SHORECLUB DR.  
MERCER ISLAND, WA 98040

PROJECT NO.: REVISION DATE REVISION NO.:  
152-21 09/08/2021 0

SHEET  
1 OF 1



**MIDPOINT ELEVATION WALL SEGMENT LENGTH**

A=84'	a=13'-7 1/4"
B=84'	b=5'
C=84'	c=17'-9 1/2"
D=84'	d=1'-6 3/4"
E=84'	e=20'-1/4"
F=82'	f=7'-3 3/4"
G=80'	g=31'-2 3/4"
H=74'	h=10'-9 1/4"
I=74'	i=2'-4"
J=75'	j=44'-10"
K=84'	k=25'-2 1/2"
L=84'	l=9'
M=84'	m=6'-5 3/4"
N=84'	n=15'-9 1/2"

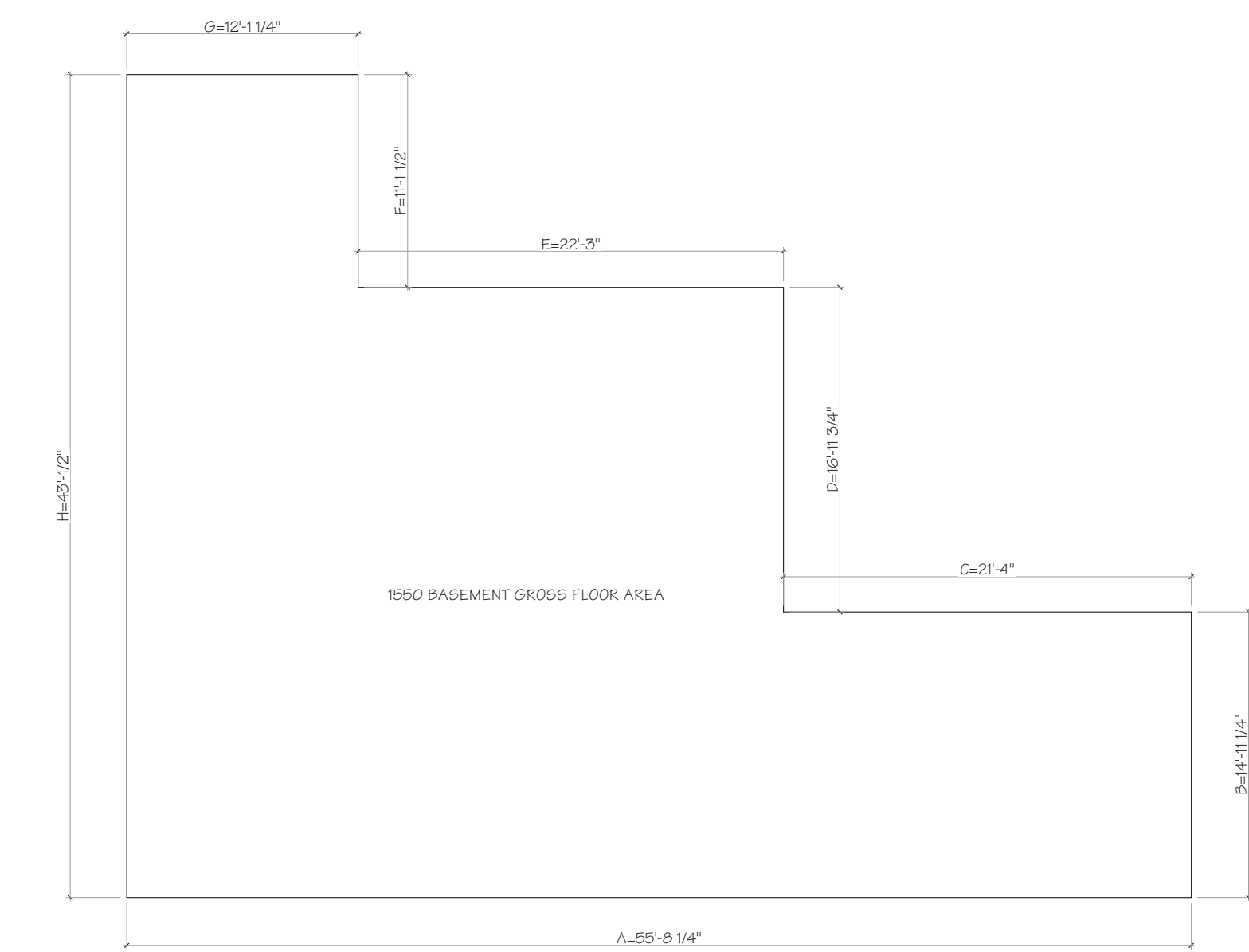
$$(84')(13'-7\ 1/4'') + (84')(5'-0'') + (84')(17'-9\ 1/2'') + (84')(1'-6\ 3/4'') + (84')(20'-1/4'') + (82')(7'-3\ 3/4'') + (80')(31'-2\ 3/4'') + (74')(10'-9\ 1/4'') + (74')(2'-4'') + (75')(44'-10'') + (84')(25'-2\ 1/2'') + (84')(9') + (84')(6'-5\ 3/4'') + (84')(15'-9\ 1/2'')$$

$$13'-7\ 1/4'' + 5'-0'' + 17'-9\ 1/2'' + 1'-6\ 3/4'' + 20'-1/4'' + 7'-3\ 3/4'' + 31'-2\ 3/4'' + 10'-9\ 1/4'' + 2'-4'' + 44'-10'' + 25'-2\ 1/2'' + 9' + 6'-5\ 3/4'' + 15'-9\ 1/2''$$

$$\frac{17044.5}{210'-11\ 1/4''}$$

AVERAGE BUILDING ELEVATION = 80.80

1 AVERAGE BUILDING ELEVATION DIAGRAM  
SCALE: 1" = 10'



**WALL SEGMENT LENGTH % COVERAGE AT MIDPOINT**

A=55'-8 1/4"	0%
B=14'-11 1/4"	34%
C=21'-4"	100%
D=16'-11 3/4"	94%
E=22'-3"	100%
F=11'-1 1/2"	100%
G=12'-1 1/4"	100%
H=43'-1/2"	100%

**BASEMENT FLOOR AREA CALCULATION**

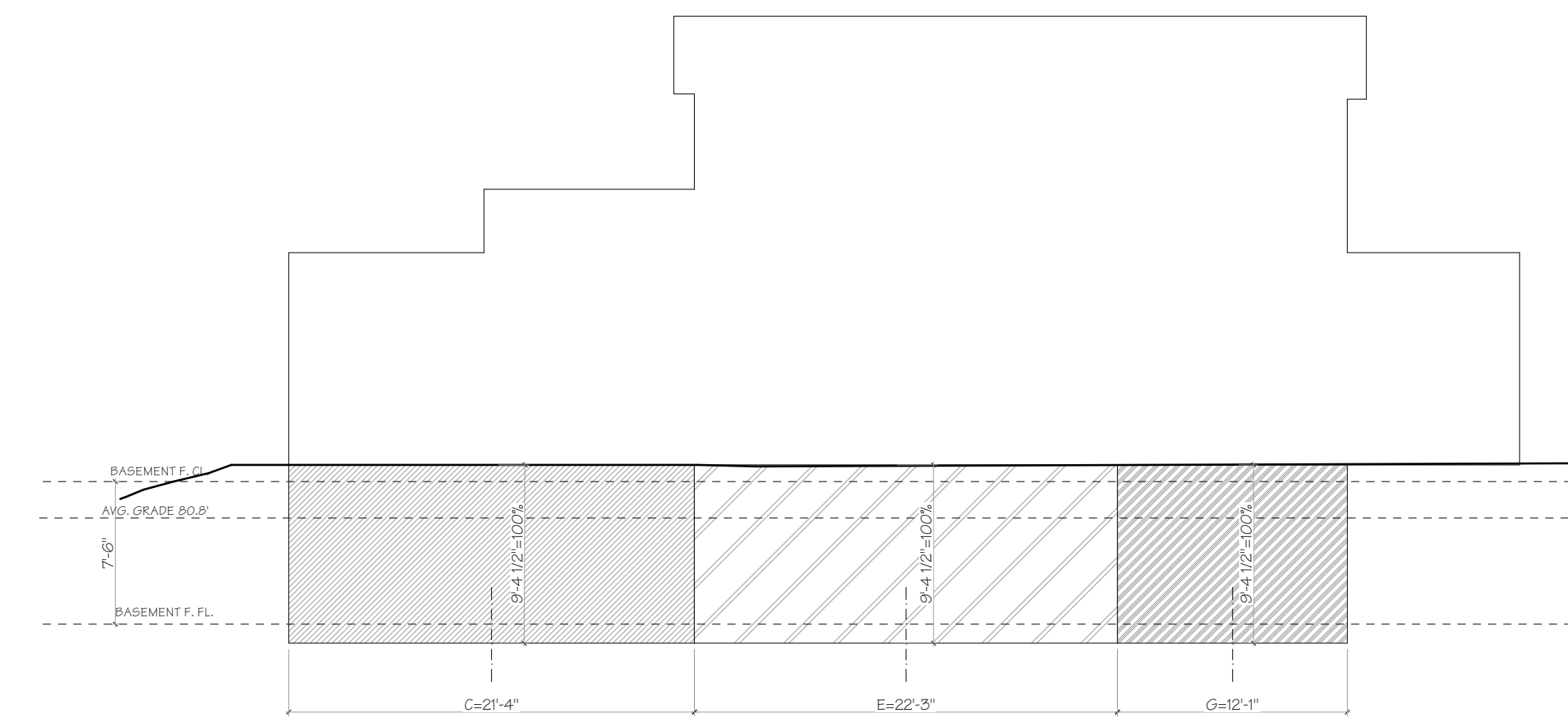
$$1550\text{ SF BASEMENT} \times (55'-8\ 1/4'')(34\%) + (21'-4'')(100\%) + (16'-11\ 3/4'')(94\%) + (22'-3'')(100\%) + (11'-1\ 1/2'')(100\%) + (12'-1\ 1/4'')(100\%) + (43'-1/2'')(100\%)$$

$$55'-8\ 1/4'' + 21'-4'' + 16'-11\ 3/4'' + 22'-3'' + 11'-1\ 1/2'' + 2'-1\ 1/4'' + 43'-1/2''$$

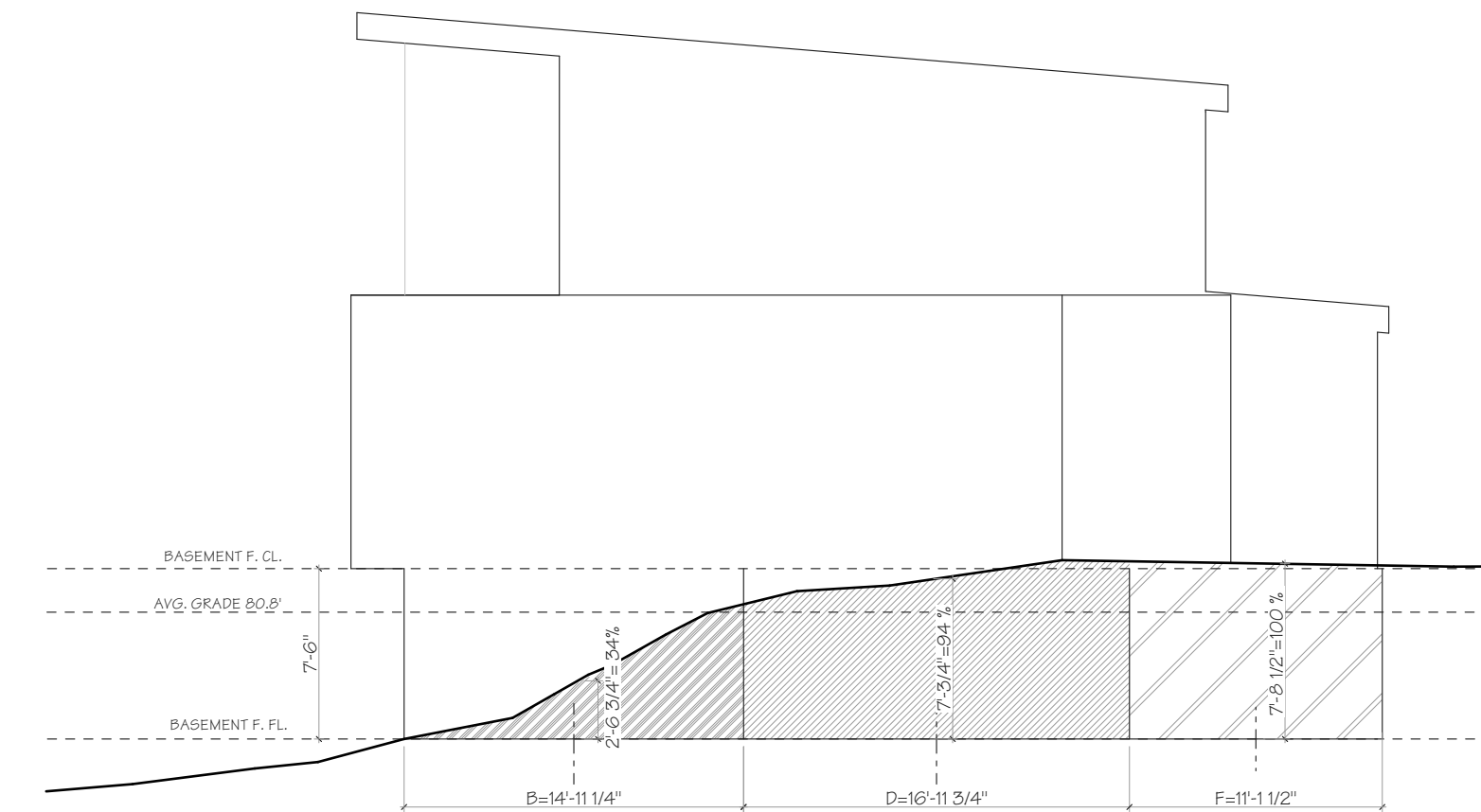
$$\frac{130'-10\ 11/16''}{197'-5\ 1/2''}$$

1550 sf x 66% = 1023 SF EXCLUDED FROM GROSS FLOOR AREA

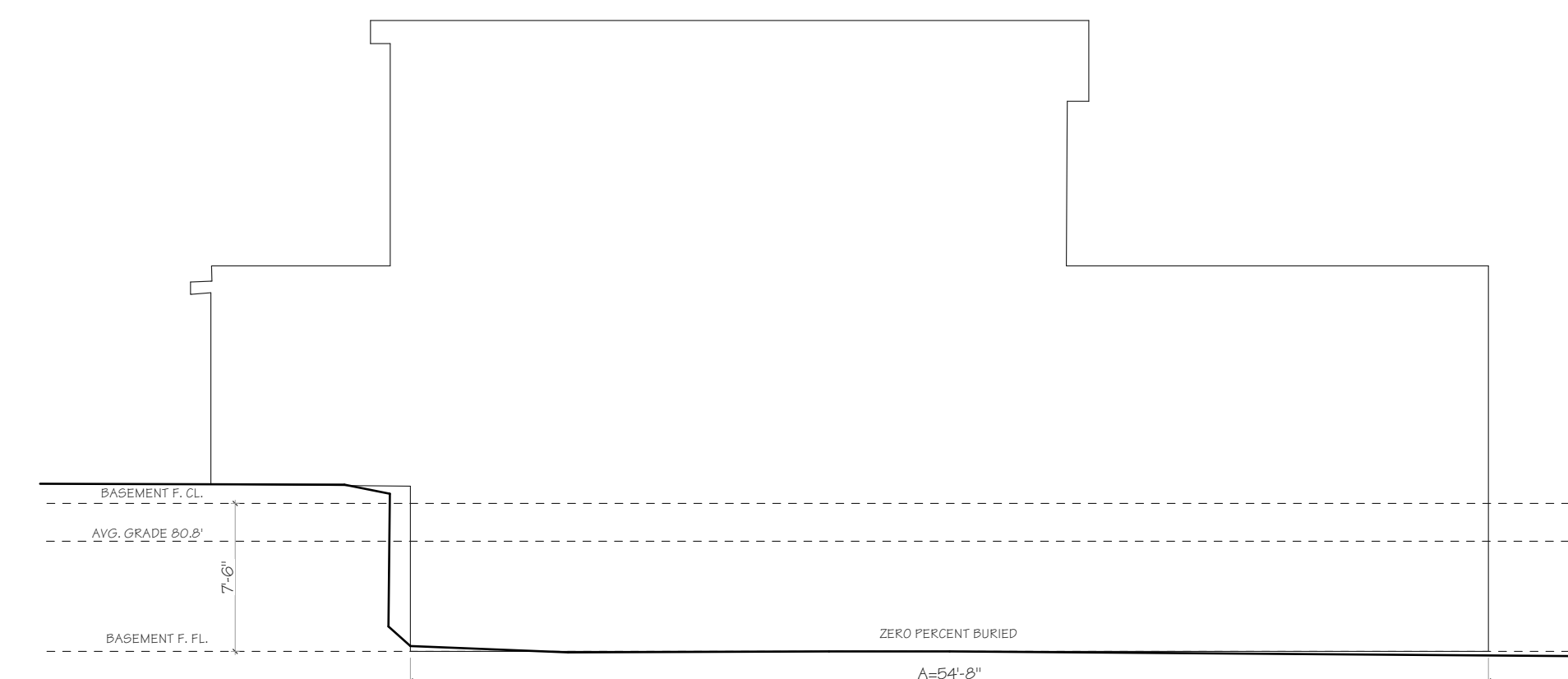
2 BASEMENT GROSS FLOOR AREA CALCULATION  
SCALE: 1/8" = 1'-0"



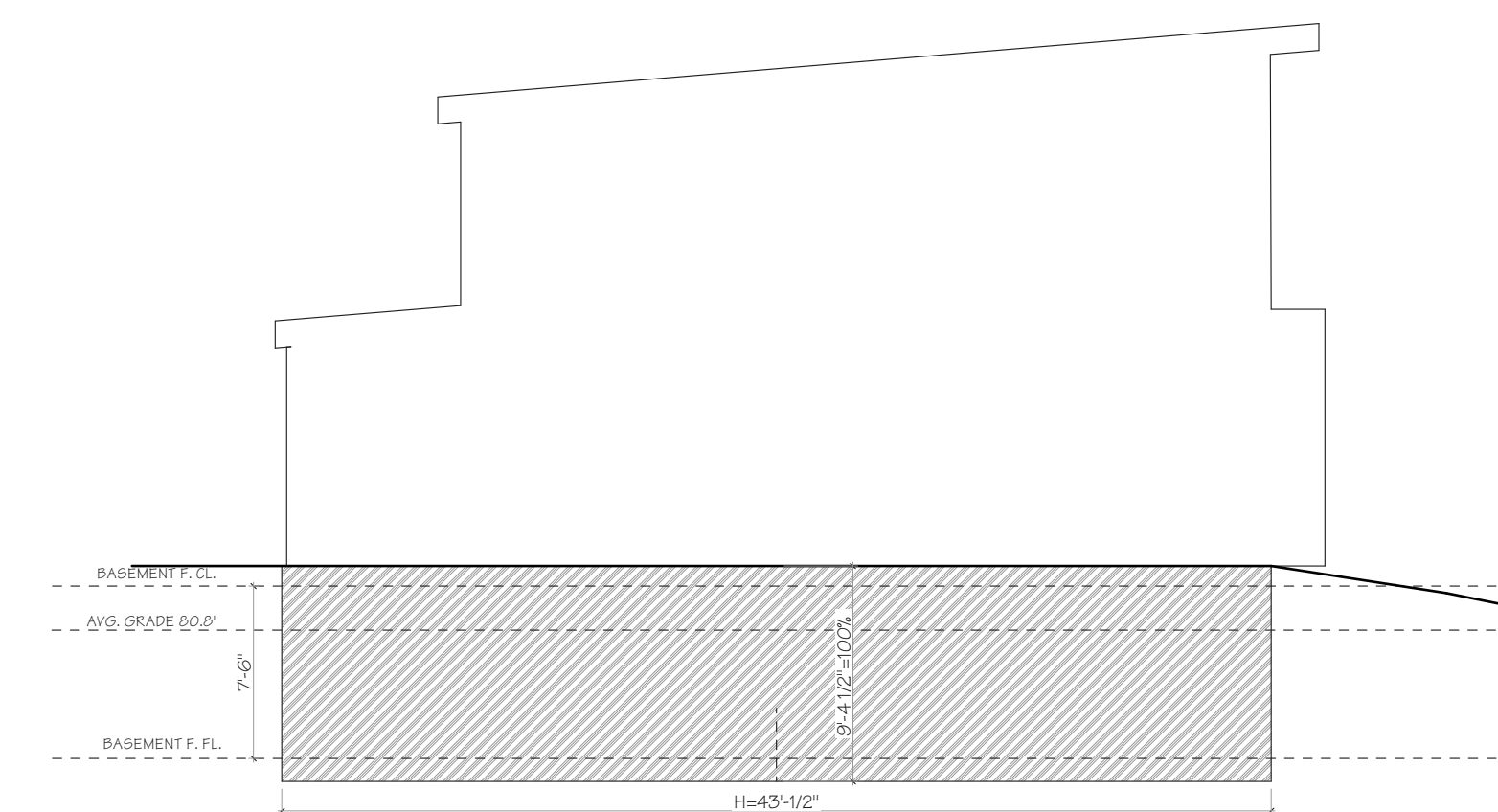
2A NORTH GROSS FLOOR AREA ELEVATION  
SCALE: 1/8" = 1'-0"



2B EAST GROSS FLOOR AREA ELEVATION  
SCALE: 1/8" = 1'-0"



2C SOUTH GROSS FLOOR AREA ELEVATION  
SCALE: 1/8" = 1'-0"



2D WEST GROSS FLOOR AREA ELEVATION  
SCALE: 1/8" = 1'-0"

AXIOM DESIGN BUILD  
5424 BALLARD AVENUE NW  
SEATTLE, WA 98107  
(206) 283-9535



9256 REGISTERED ARCHITECT  
JOHN ALFRED CASHMAN  
STATE OF WASHINGTON

OSTROFF GALIOTTO  
4244 SHORECLUB DRIVE MERCER ISLAND WA  
98040

PROJECT NUMBER:  
A2834

PERMIT  
PERMIT NUMBER:




DRAWING SET DATE:  
06/08/22

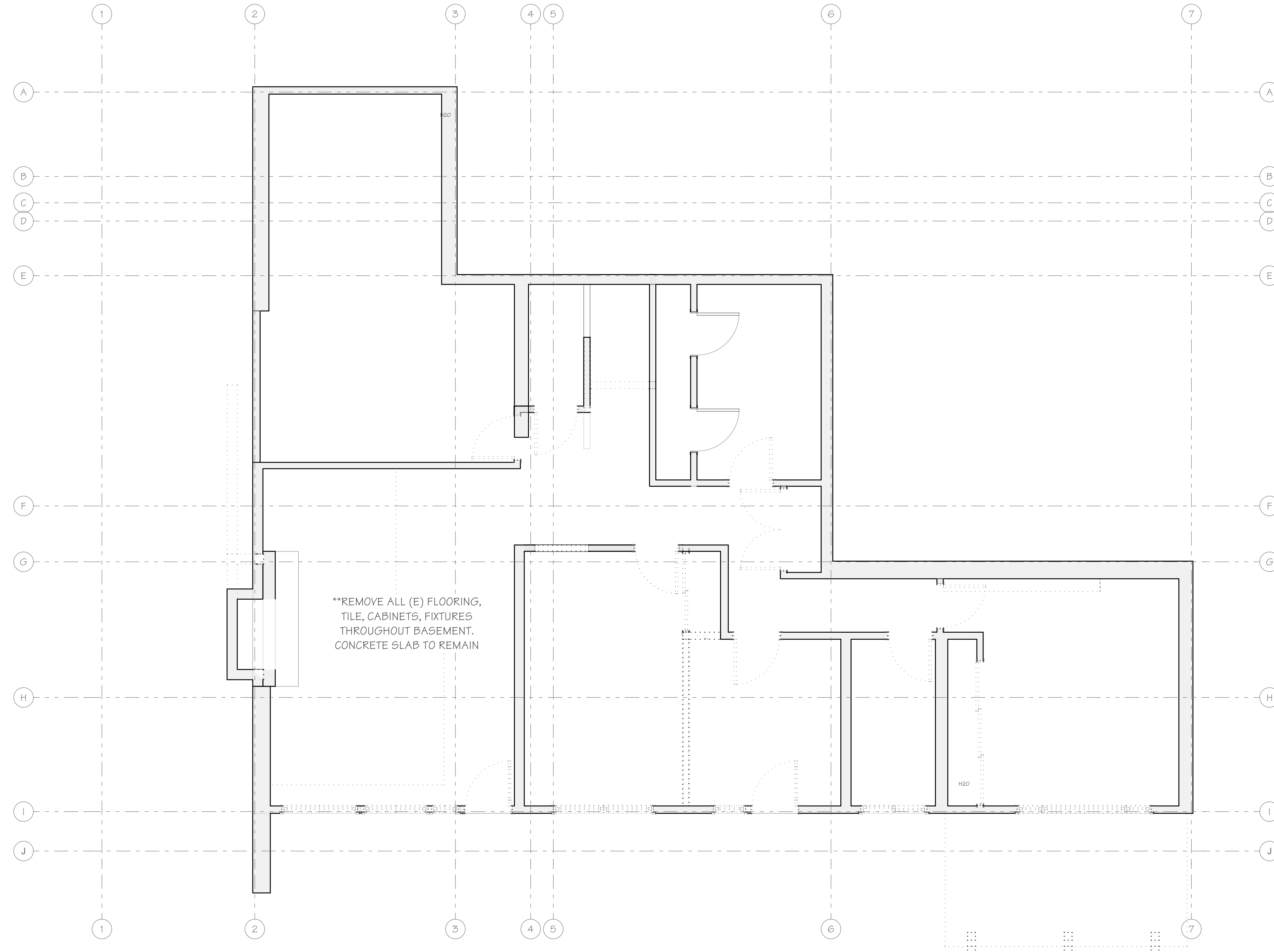
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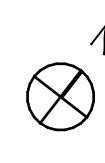
A0.3

CALCULATIONS

DCI SEAL

WALL TYPES	
	(E) WALL TO REMAIN
	DEMO & REMOVE
	NEW WALL




1 EAST-WEST AWNING SECTION  
 SCALE: 1/4" = 1'-0"

AXIOM DESIGN BUILD  
 5424 BALLARD AVENUE NW  
 SEATTLE, WA 98107  
 (206) 283-9535



9256 REGISTERED ARCHITECT  
 JOHN ALFRED CASHMAN  
 STATE OF WASHINGTON

OSTROFF GALIOTTO  
 4244 SHORECLUB DRIVE MERCER ISLAND WA  
 98040

PROJECT NUMBER:  
**A2834**

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**06/08/22**

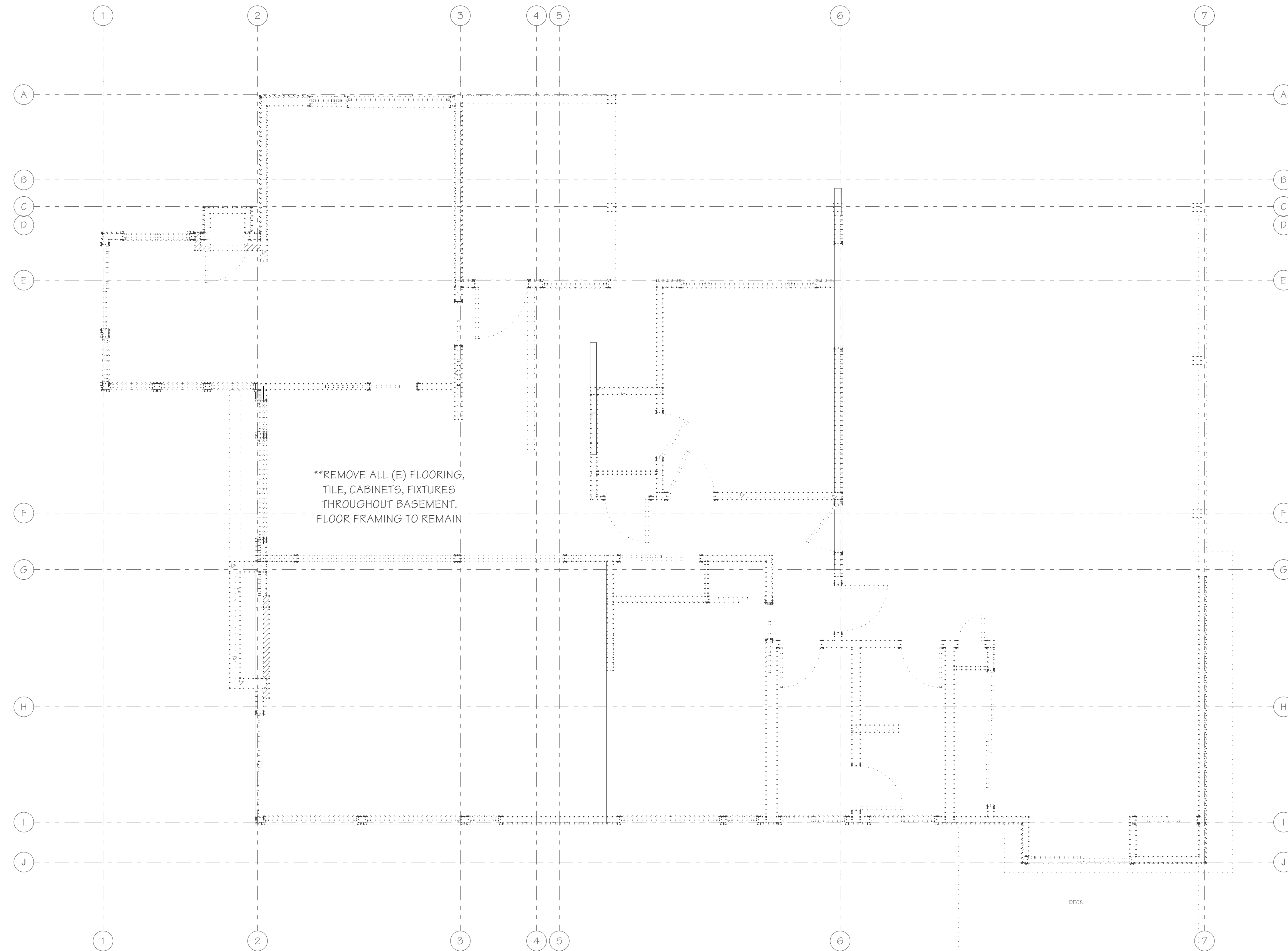
REVISIONS:

**A1.0**

DEMO PLANS

DCI SEAL

WALL TYPES	
	(E) WALL TO REMAIN
	DEMO & REMOVE
	NEW WALL



1 EAST-WEST AWNING SECTION
   
 SCALE: 1/4" = 1'-0"

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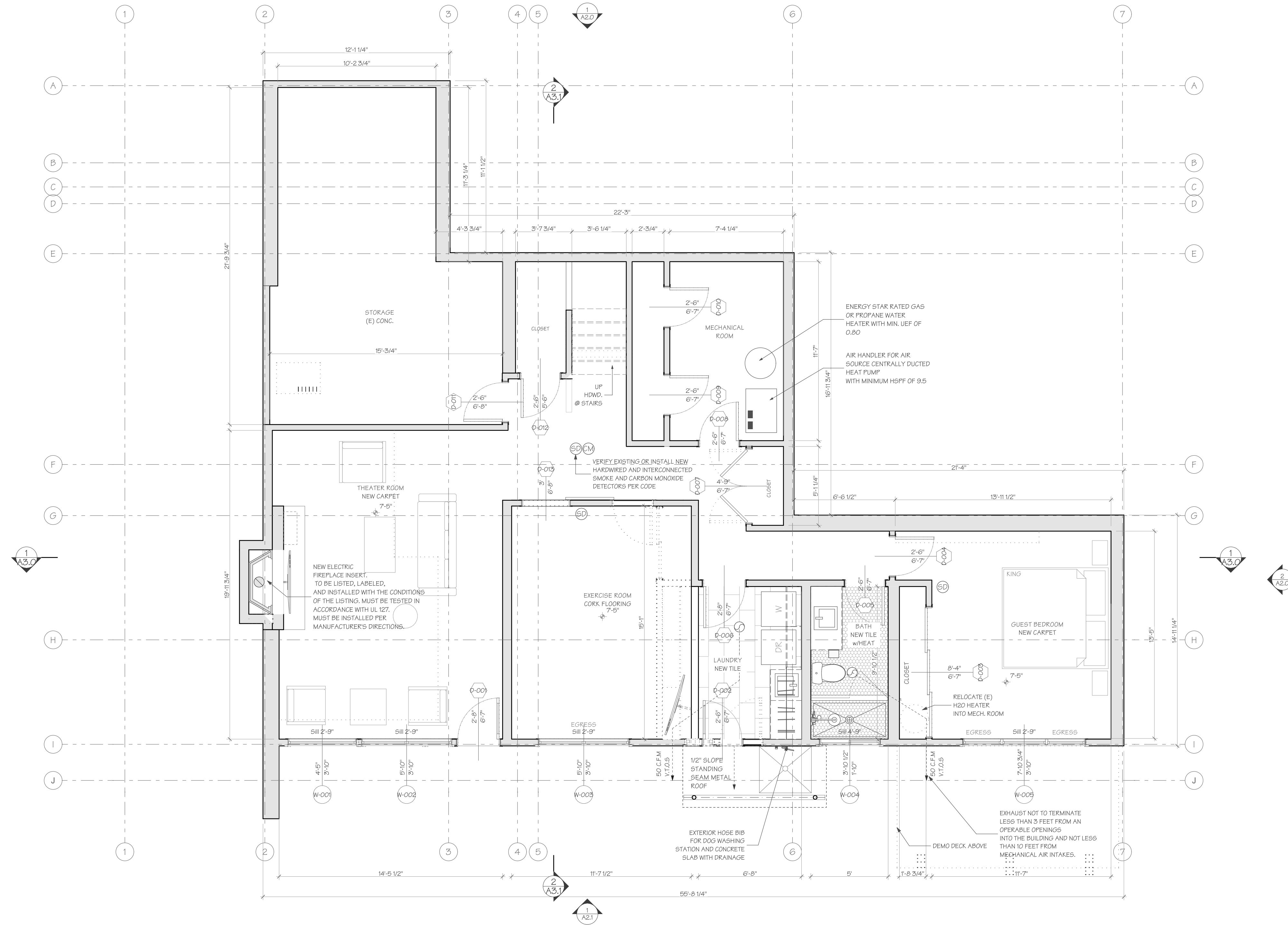
REVISIONS:

A1.1

DEMO PLANS

DCI SEAL

WALL TYPES	
	(E) WALL TO REMAIN
	DEMO & REMOVE
	NEW WALL



1
   
 BASEMENT FLOOR PLAN
   
 SCALE: 1/4" = 1'-0"

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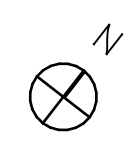
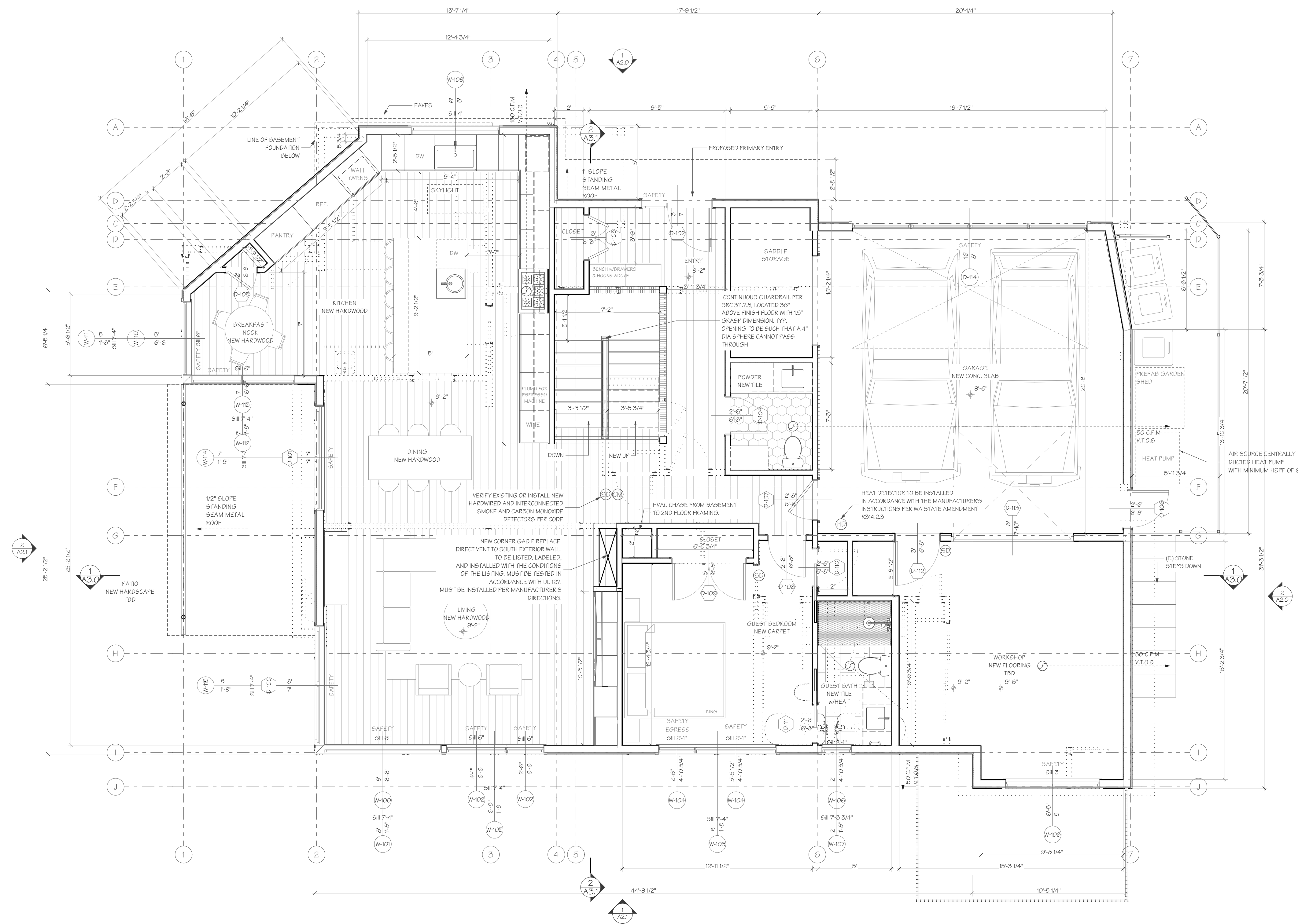
REVISIONS:

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 FLOOR PLANS

DCI SEAL

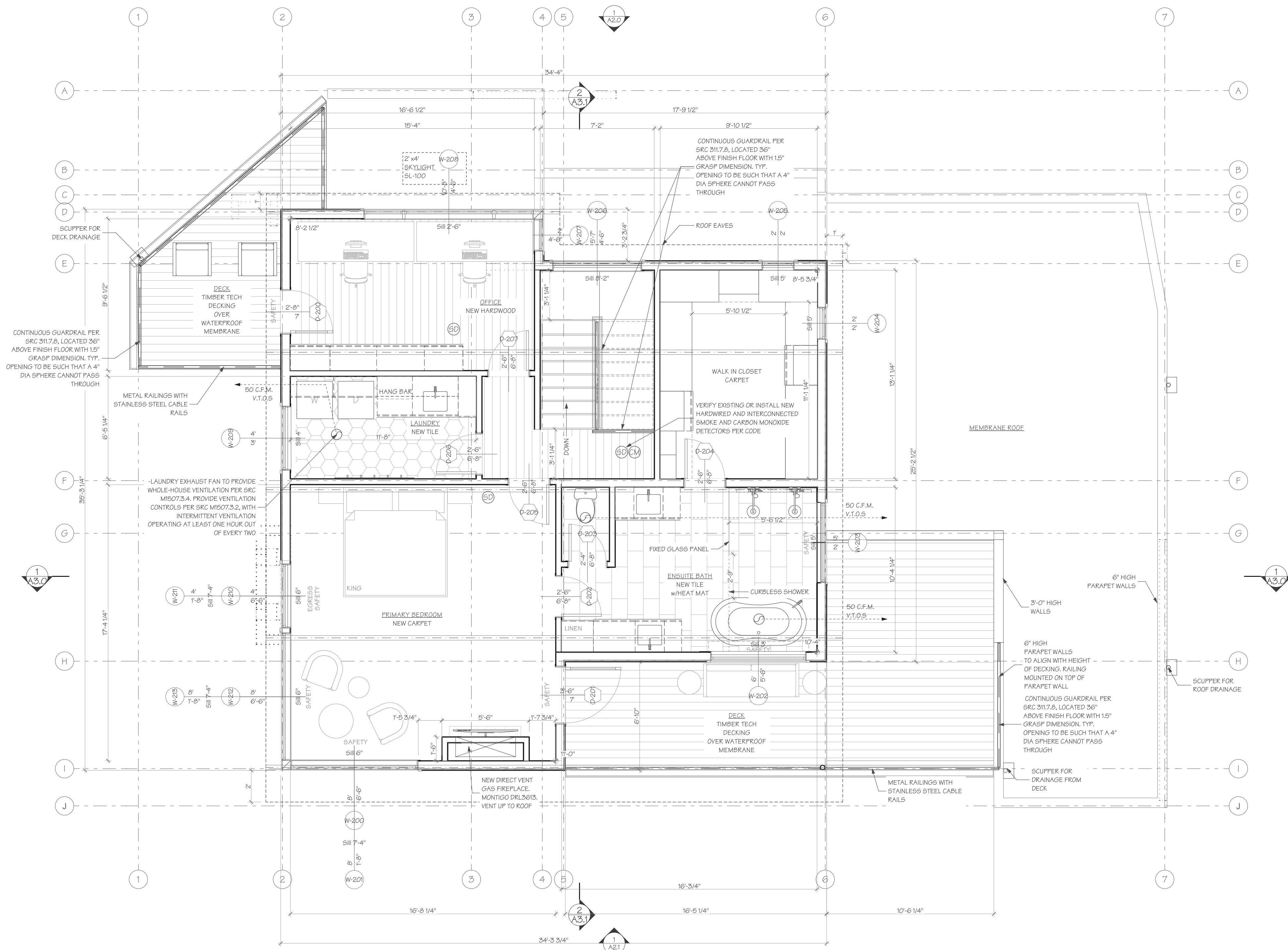


WALL TYPES	
	(E) WALL TO REMAIN
	DEMO & REMOVE
	NEW WALL



1 PROPOSED 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"





PROPOSED 2ND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

## ROOF VENTILATION

PER IRC R806.1-1 SF OF VENTING PER 150 SF OF ROOF  
(PER 300 IF ROOF VENTILATORS ARE USED)

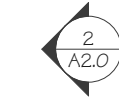
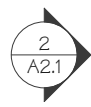
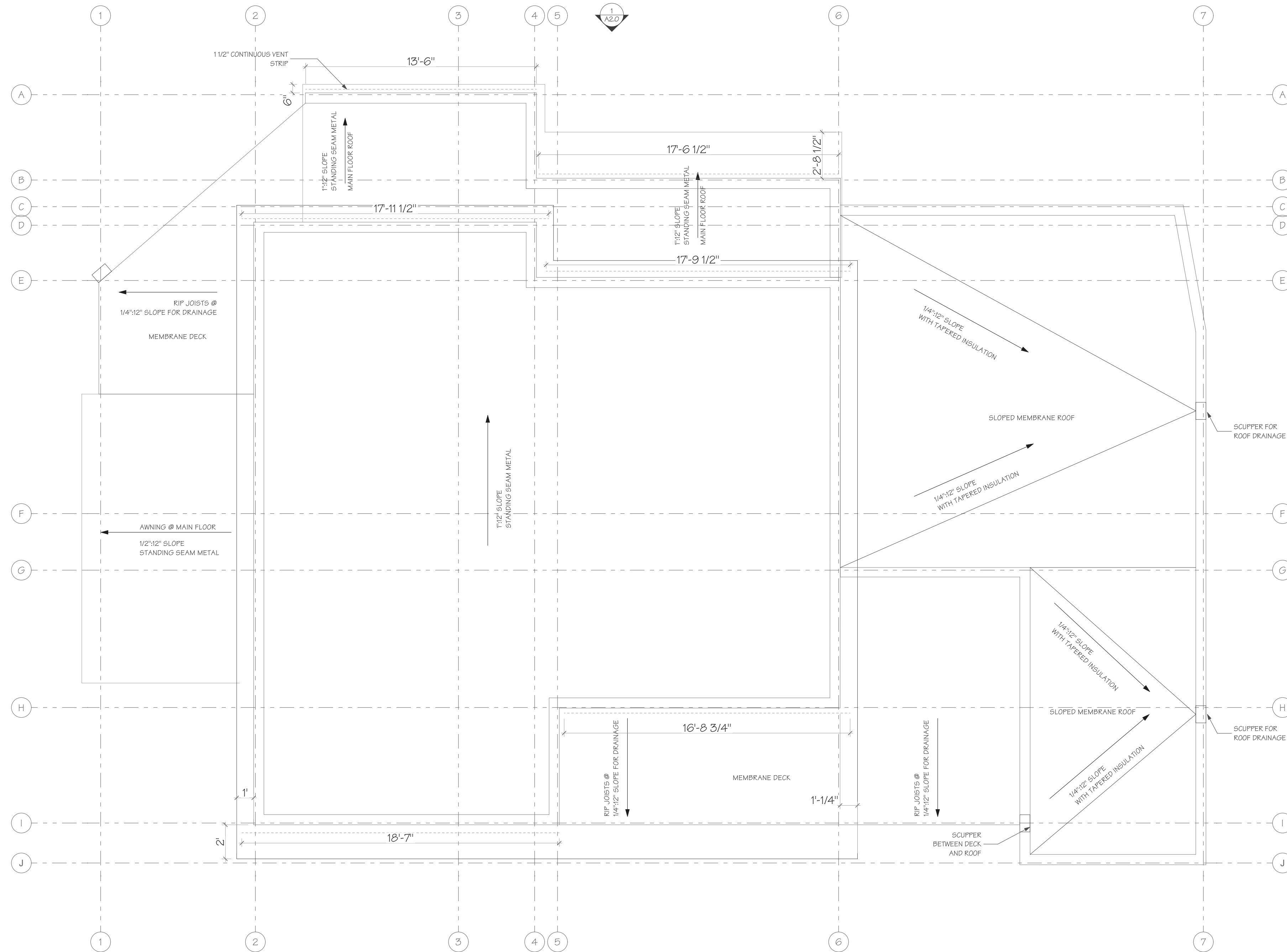
ROOF 1: 1328 SF NEW ROOF TO BE VENTED  
1328 SF / 150 SF = 8.85 SF (1274.4 SQ. INCHES)  
REQUIRED

$(18'-7" + 16'-8 \frac{3}{4}" + 17'-9 \frac{1}{2}" + 17'-11 \frac{1}{2}") = 71' \times 1 \frac{1}{2}"$   
CONTINUOUS VENTING STRIP = 8,875 SF = 1278  
SQ. INCHES PROVIDED FROM ROOF 1

ROOF 2: 264 SF NEW ROOF TO BE VENTED  
264 SF / 150 SF = 1.76 SF (253.4 SQ. INCHES)  
REQUIRED

$(13'-6" + 17'-6 \frac{1}{2}") = 31'-0 \frac{1}{2}" \times 1 \frac{1}{2}"$  CONTINUOUS  
VENTING STRIP = 3,888 SF = 558 SQ. INCHES  
PROVIDED FROM ROOF 2

NOTE: EACH RAFTER MUST BE VENTILATED AS PER  
IRC R806



1 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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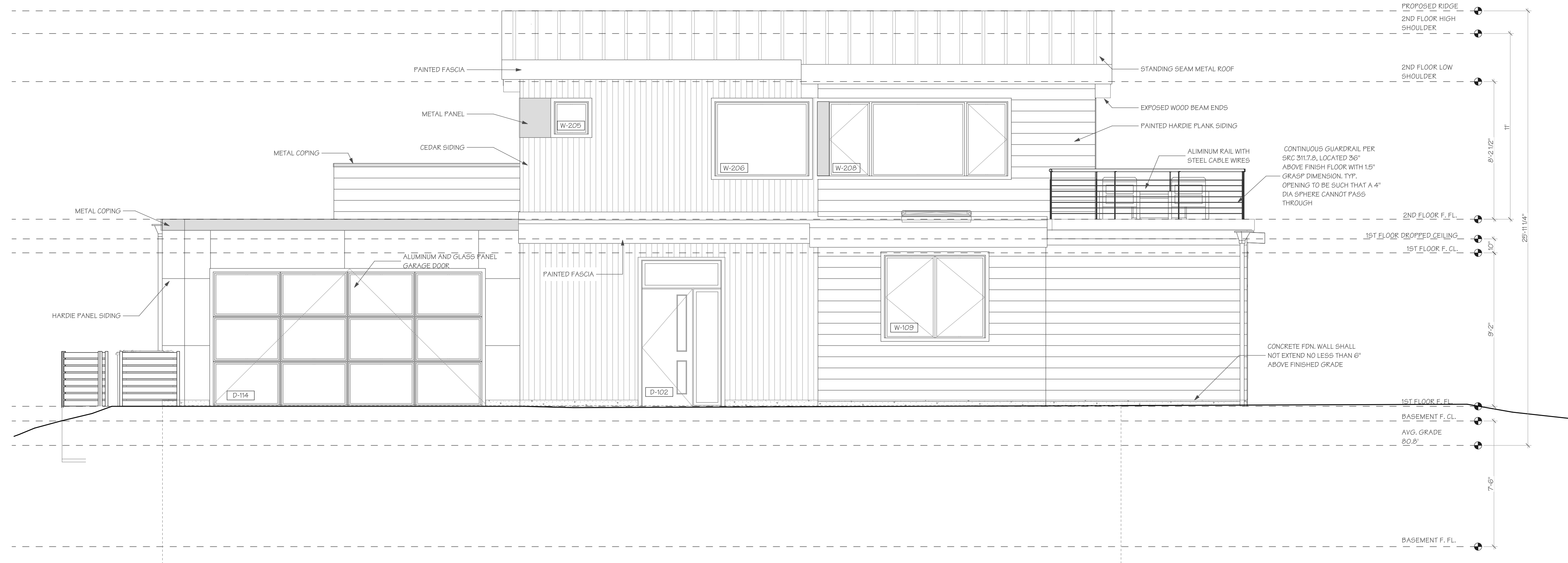
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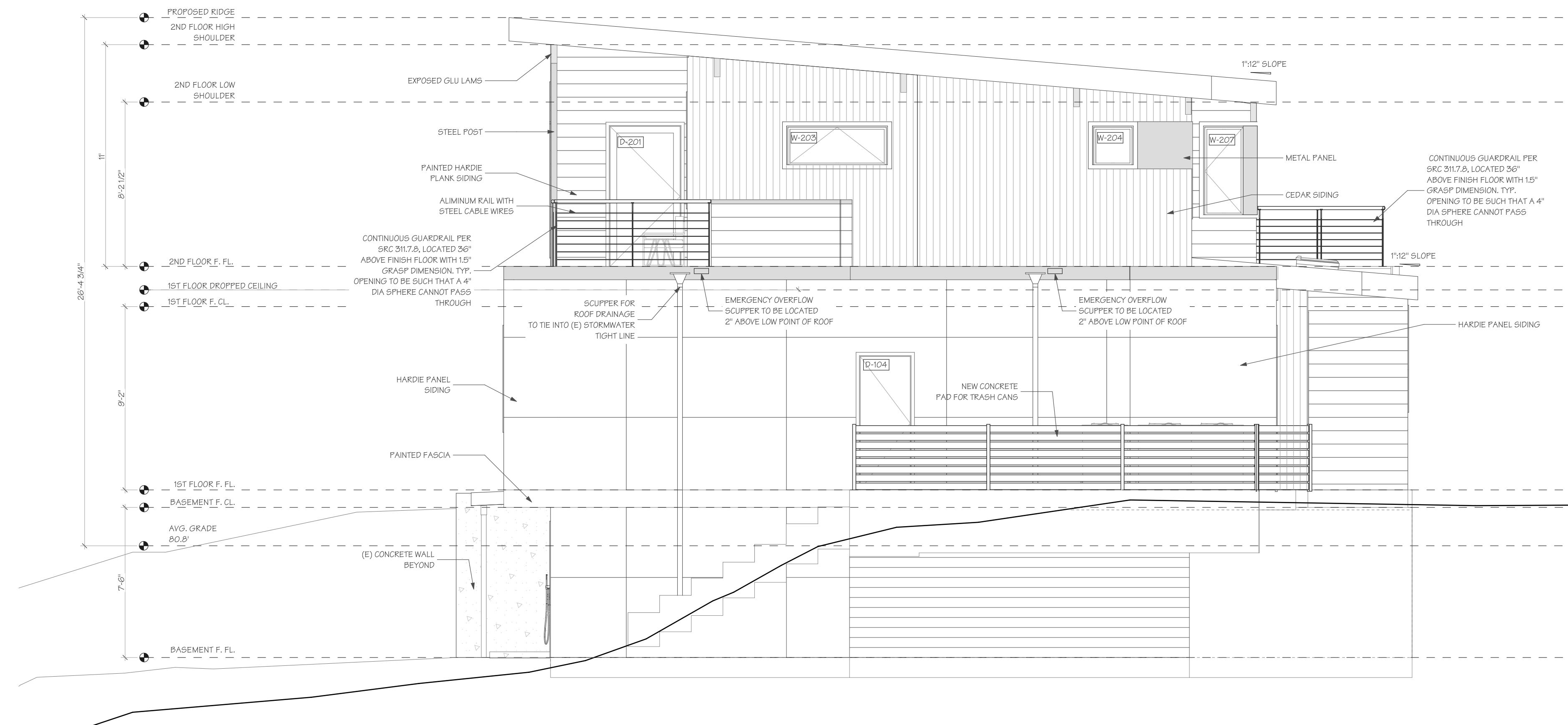
A1.4

ROOF PLAN

DCI SEAL



1 NORTH EXT. ELEV.  
SCALE: 1/4" = 1'-0"



2 EAST EXT. ELEV.  
SCALE: 1/4" = 1'-0"

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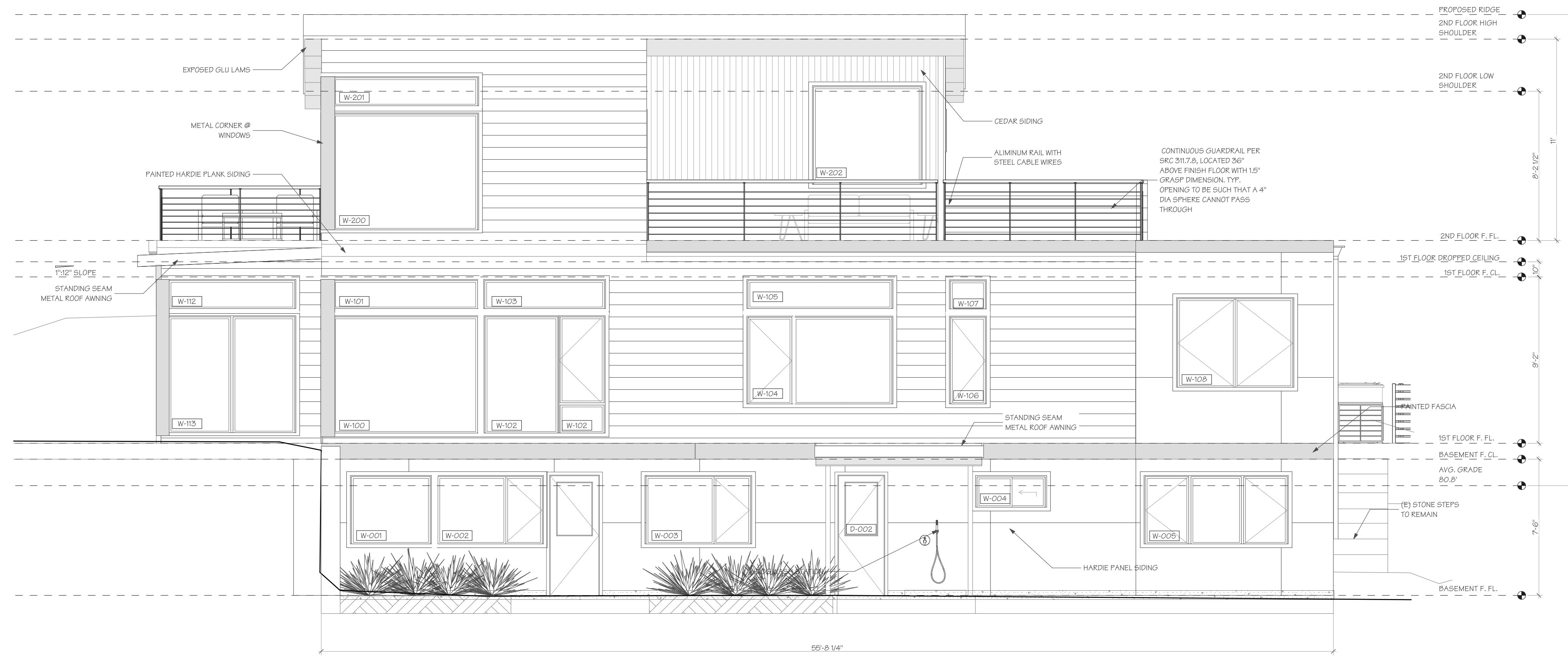
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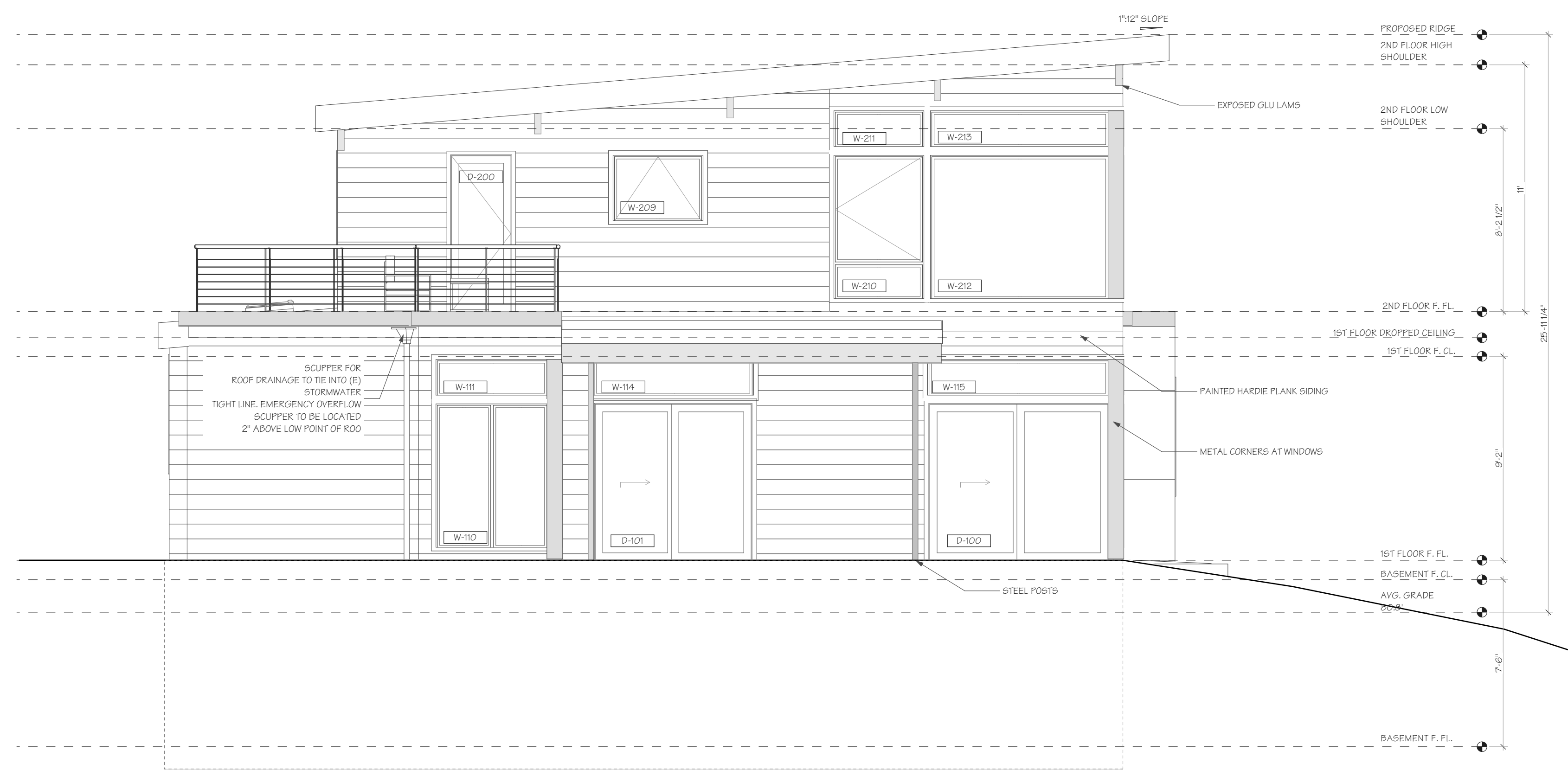
A2.0

EXT ELEV

DCI SEAL



1 SOUTH EXT. ELEV.  
SCALE: 1/4" = 1'-0"



2 WEST EXT. ELEV.  
SCALE: 1/4" = 1'-0"

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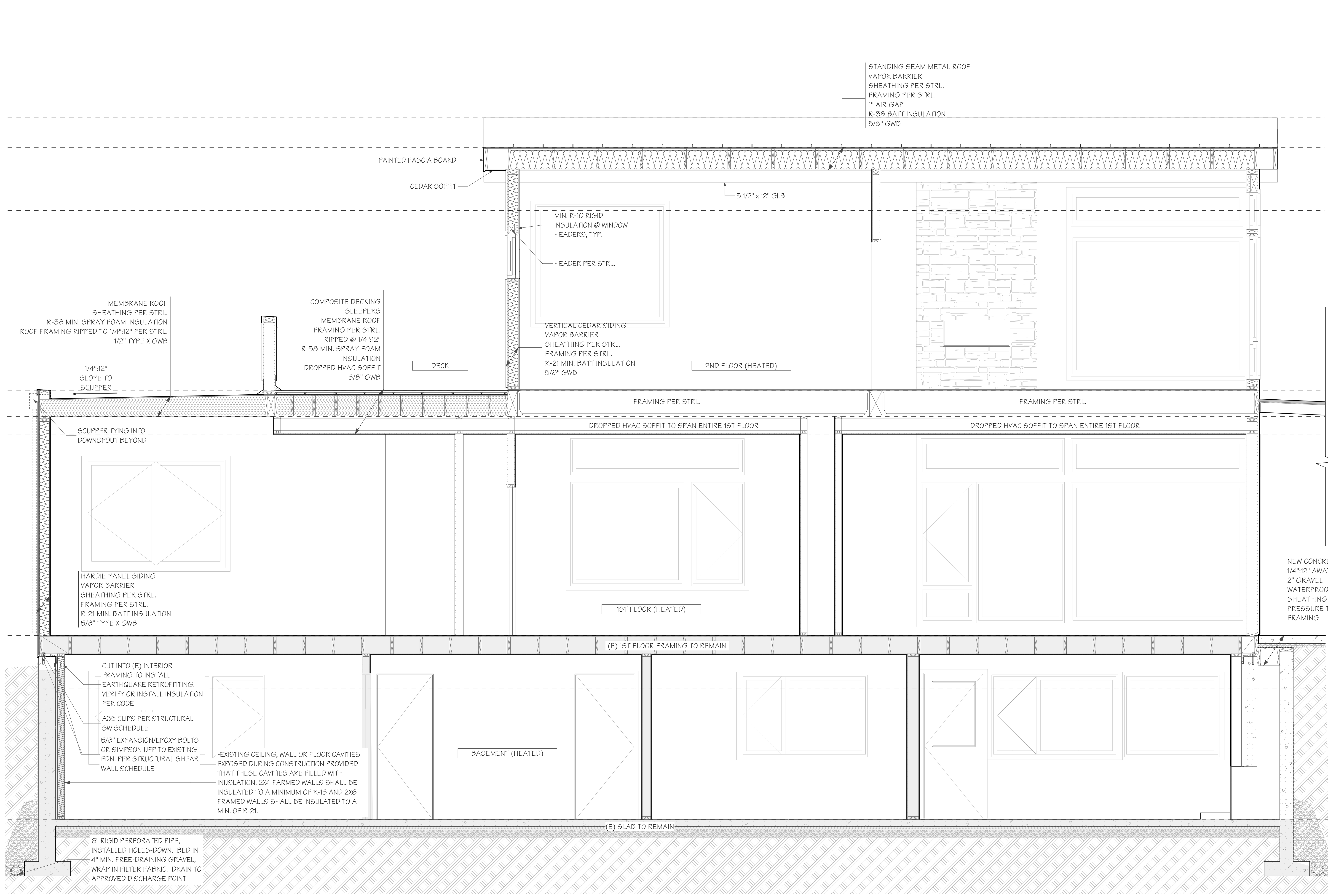
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06/08/22

REVISIONS:

A2.1

EXT. ELEV.

DCI SEAL



STANDING SEAM METAL ROOF  
 VAPOR BARRIER  
 SHEATHING PER STRL.  
 FRAMING PER STRL.  
 1" AIR GAP  
 R-38 BATT INSULATION  
 5/8" GWB

PAINTED FASCIA BOARD  
 CEDAR SOFFIT

MIN. R-10 RIGID  
 INSULATION @ WINDOW  
 HEADERS, TYP.  
 HEADER PER STRL.

3 1/2" x 12" GLB

MEMBRANE ROOF  
 SHEATHING PER STRL.  
 R-38 MIN. SPRAY FOAM INSULATION  
 ROOF FRAMING RIPPED TO 1/4":12" PER STRL.  
 1/2" TYPE X GWB

COMPOSITE DECKING  
 SLEEPERS  
 MEMBRANE ROOF  
 FRAMING PER STRL.  
 RIPPED @ 1/4":12"  
 R-38 MIN. SPRAY FOAM  
 INSULATION  
 DROPPED HVAC SOFFIT  
 5/8" GWB

DECK

VERTICAL CEDAR SIDING  
 VAPOR BARRIER  
 SHEATHING PER STRL.  
 FRAMING PER STRL.  
 R-21 MIN. BATT INSULATION  
 5/8" GWB

2ND FLOOR (HEATED)

FRAMING PER STRL.

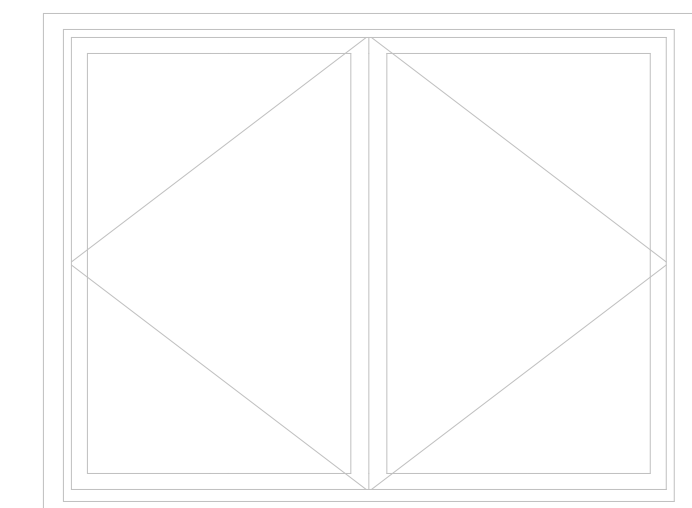
FRAMING PER STRL.

DROPPED HVAC SOFFIT TO SPAN ENTIRE 1ST FLOOR

DROPPED HVAC SOFFIT TO SPAN ENTIRE 1ST FLOOR

1/4":12"  
 SLOPE TO  
 SCUPPER

SCUPPER TYING INTO  
 DOWNSPOUT BEYOND



HARDIE PANEL SIDING  
 VAPOR BARRIER  
 SHEATHING PER STRL.  
 FRAMING PER STRL.  
 R-21 MIN. BATT INSULATION  
 5/8" TYPE X GWB

1ST FLOOR (HEATED)

(E) 1ST FLOOR FRAMING TO REMAIN

NEW CONCRETE PATIO SLOPED  
 1/4":12" AWAY FROM HOUSE  
 2" GRAVEL  
 WATERPROOF MEMBRANE  
 SHEATHING PER STRL.  
 PRESSURE TREATED  
 FRAMING

NEXT SHEET

CUT INTO (E) INTERIOR  
 FRAMING TO INSTALL  
 EARTHQUAKE RETROFITTING.  
 VERIFY OR INSTALL INSULATION  
 PER CODE  
 A36 CLIPS PER STRUCTURAL  
 SW SCHEDULE  
 5/8" EXPANSION/EPOXY BOLTS  
 OR SIMPSON UFP TO EXISTING  
 FDN. PER STRUCTURAL SHEAR  
 WALL SCHEDULE

EXISTING CEILING, WALL OR FLOOR CAVITIES  
 EXPOSED DURING CONSTRUCTION PROVIDED  
 THAT THESE CAVITIES ARE FILLED WITH  
 INSULATION. 2X4 FARMED WALLS SHALL BE  
 INSULATED TO A MINIMUM OF R-15 AND 2X6  
 FARMED WALLS SHALL BE INSULATED TO A  
 MIN. OF R-21.

BASEMENT (HEATED)

(E) SLAB TO REMAIN

6" RIGID PERFORATED PIPE,  
 INSTALLED HOLES-DOWN. BED IN  
 4" MIN. FREE-DRAINING GRAVEL,  
 WRAP IN FILTER FABRIC. DRAIN TO  
 APPROVED DISCHARGE POINT

1 EAST-WEST BLDG. SECTION  
 SCALE: 1/2" = 1'-0"

AXIOM DESIGN BUILD  
 5424 BALLARD AVENUE NW  
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 ARCHITECT  
 JOHN ALFRED CASHMAN  
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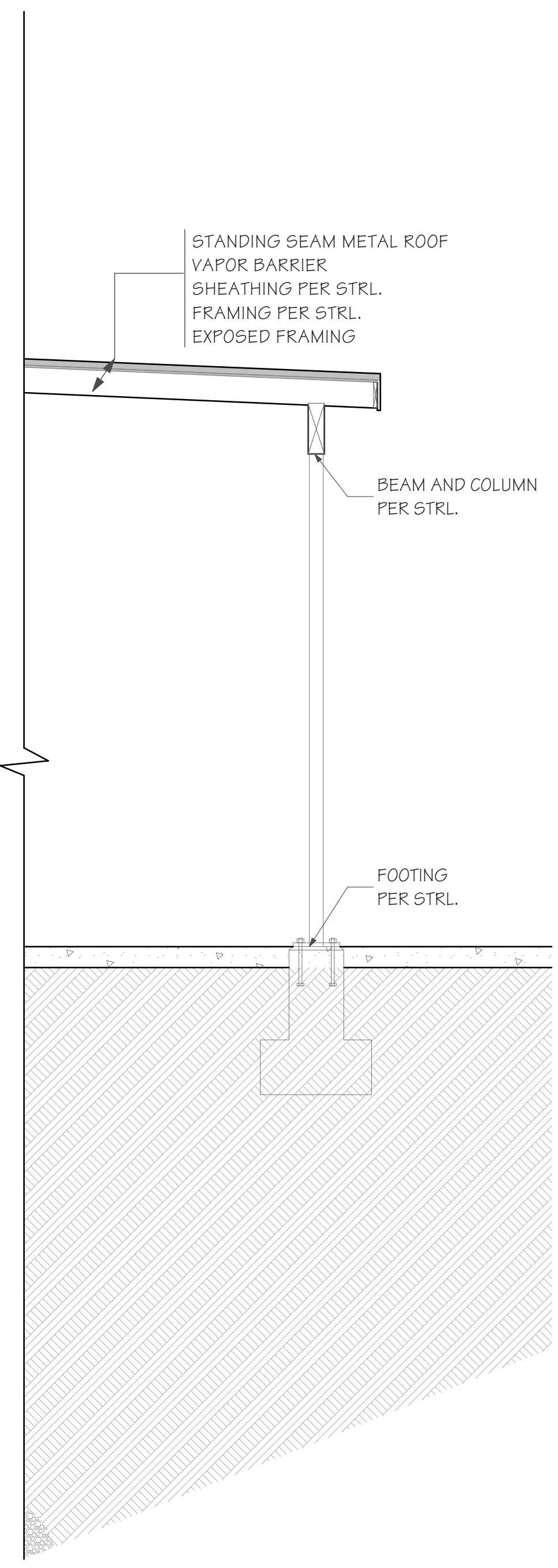
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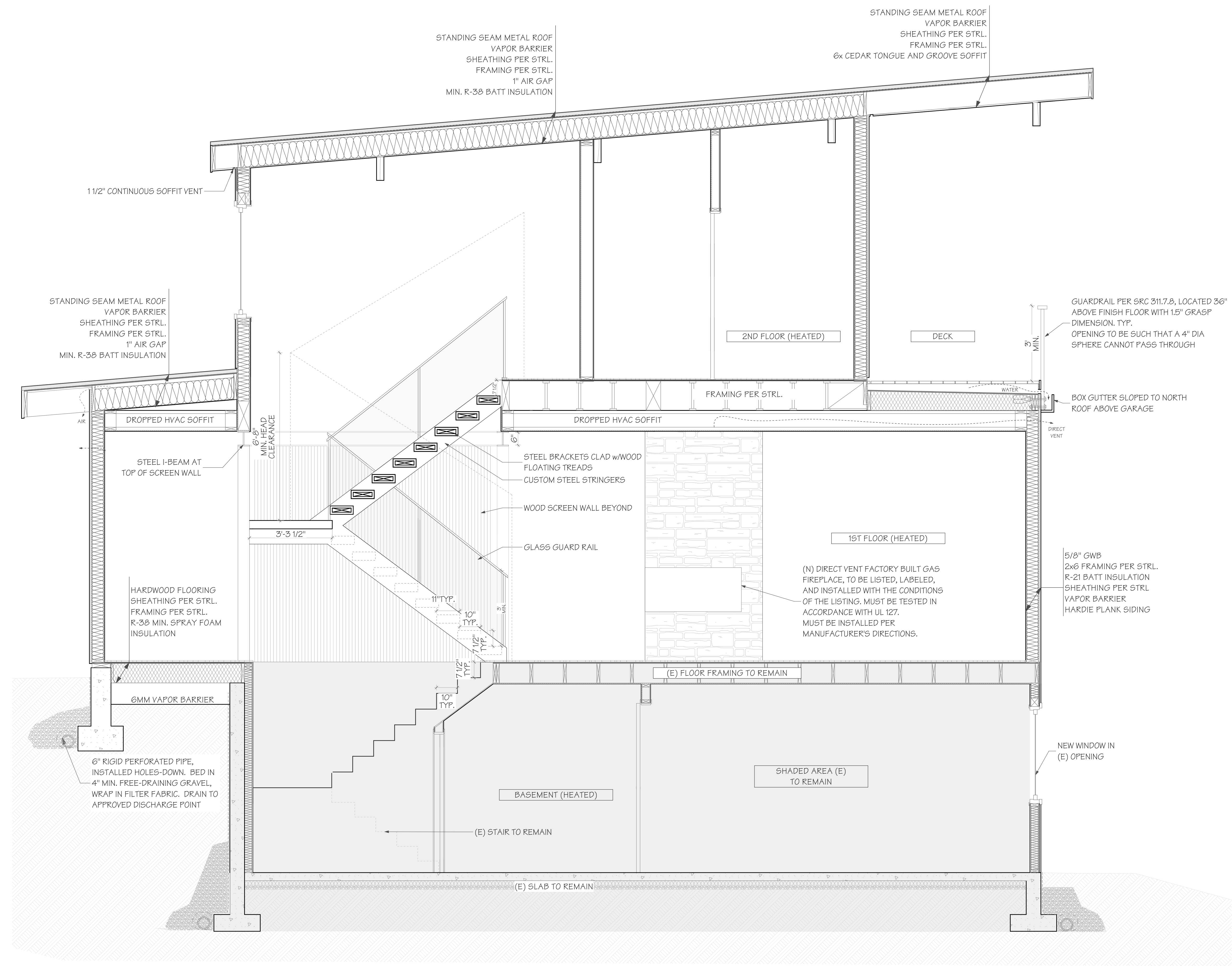
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BLDG. SECTION

DCI SEAL



1 EAST-WEST AWNING SECTION  
SCALE: 1/2" = 1'-0"



2 NORTH-SOUTH BUILDING SECTION  
SCALE: 1/2" = 1'-0"

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BLDG. SECTION

DCI SEAL





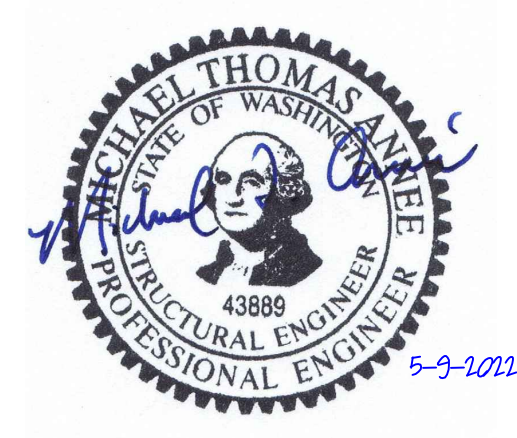






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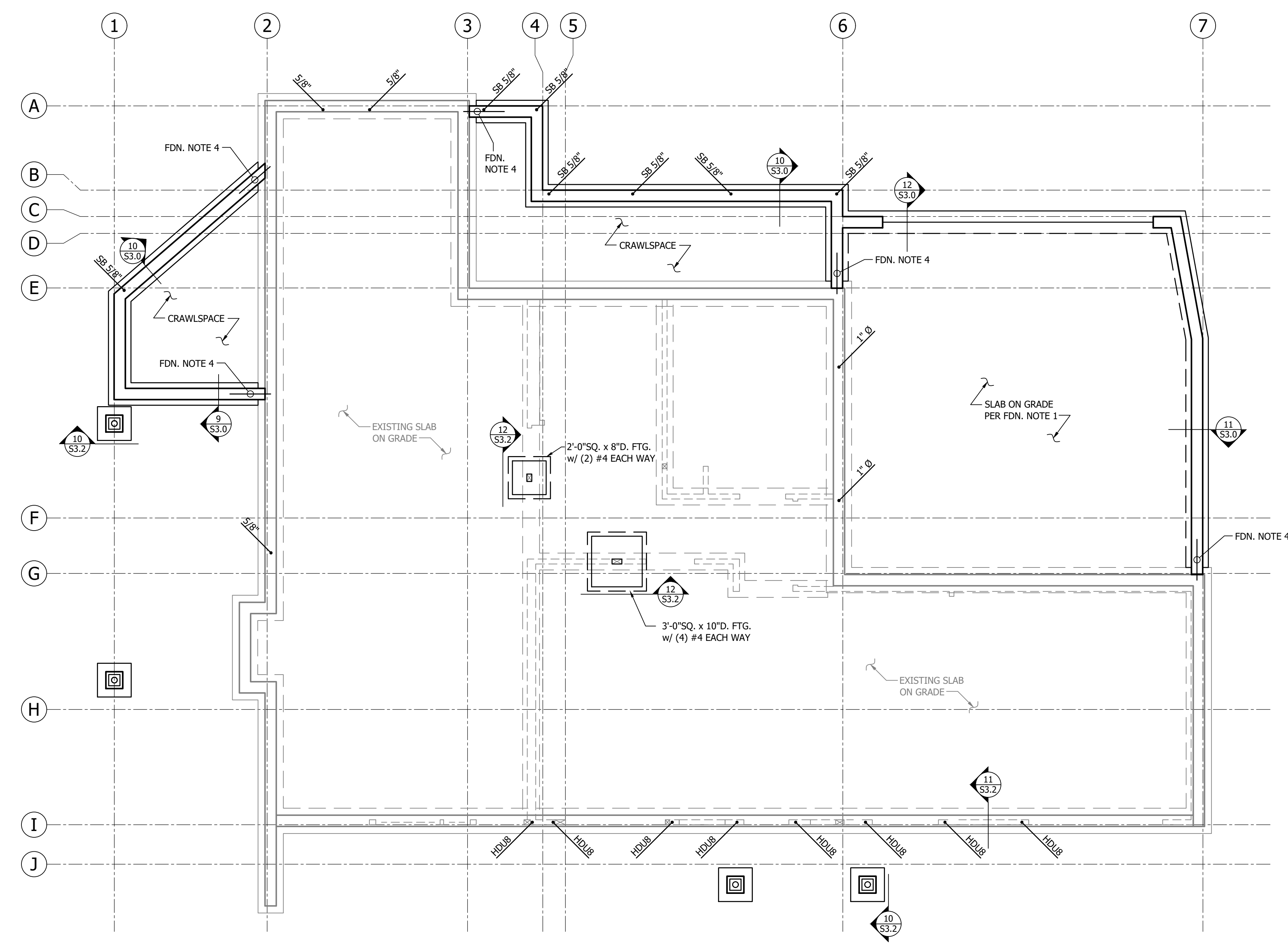
1801 18th Avenue South  
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phone: 206.658.5169  
mike@annestructural.com



**Ostroff Galiotto**  
4244 Shoreclub Drive, Mercer Island, WA 98040

Revision Issue Date Drawing Set

5/9/2022 Permit Set



**Foundation Plan**  
SCALE: 1/4" = 1'-0"

**GENERAL FRAMING NOTES:**

- ALL 14" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.1 FOR TYPICAL POST-TO-BEAM CONNECTIONS, TYP. UNO.
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.1 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16"oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.

**FOUNDATION NOTES:**

- AT BREAKS IN DOUBLE TOP PLATE OF ALL EXTERIOR WALLS AND ALL SHEAR WALLS SEE DETAIL 3/S1.1.
- SWx - INDICATES SHEAR WALL PER SCHEDULE 1/S1.1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL NEW, EXTERIOR WALLS SHALL BE SHEATHED PER SW6, UNO.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

**FOUNDATION NOTES:**

- TYPICAL SLAB ON GRADE AT INTERIOR SHALL BE 4" THICK. REINFORCE ALL SLABS w/ WWF 6x6 - W2.9xW2.9 AT CENTERLINE.
- INDICATES HOLDOWN LOCATED AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 4/S1.2.
- TYPICAL PAD FOOTINGS SHALL BE 24" SQ. x 8" D. w/ (2) #4 EW, 3" CLR. OF BTM, SEE DETAIL 10/S3.2.
- EMBED ALL HORIZONTAL REINFORCEMENT MIN OF 4" INTO (E) CONCRETE w/ SIMPSON SET-XP EPOXY. EXTEND REINFORCEMENT 24" OR HOOK.

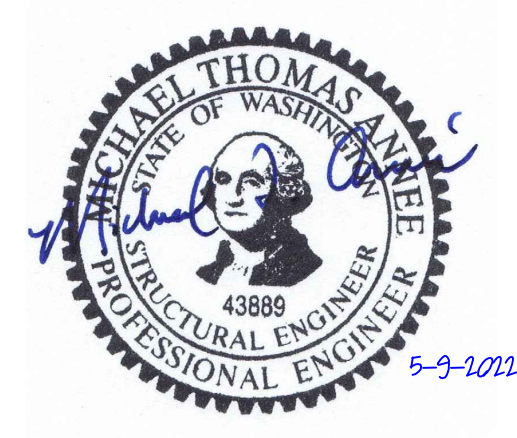
**Foundation Plan**

**S2.0**



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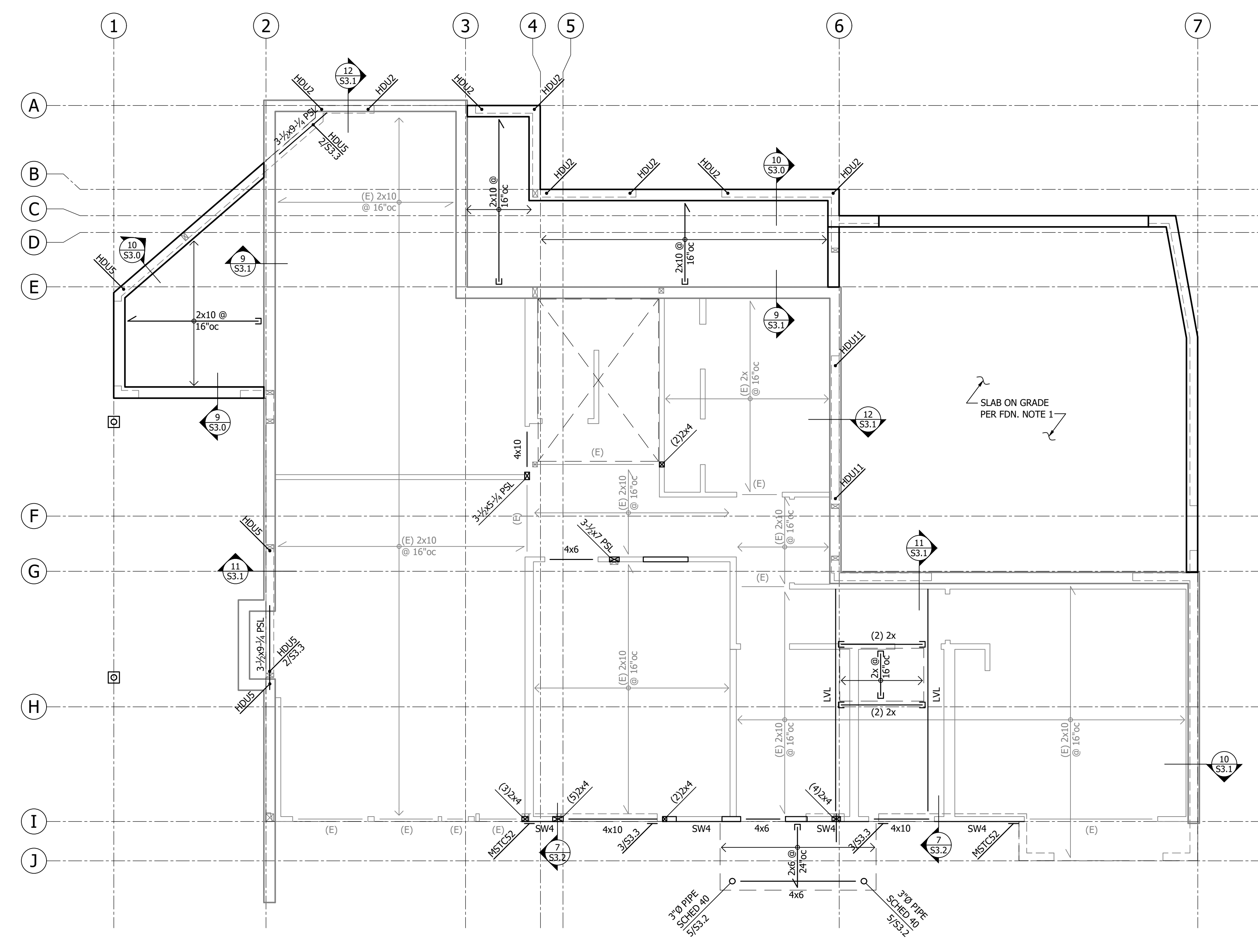
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Revision Issue Date Drawing Set

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**1st Floor Framing Plan**  
SCALE: 1/4" = 1'-0"

**GENERAL FRAMING NOTES:**

- ALL 14" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.1 FOR TYPICAL POST-TO-BEAM CONNECTIONS, TYP. UNO.
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.1 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16"oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.

**FLOOR FRAMING NOTES:**

- AT BREAKS IN DOUBLE TOP PLATE OF ALL EXTERIOR WALLS AND ALL SHEAR WALLS SEE DETAIL 3/S1.1.
- SWx - INDICATES SHEAR WALL PER SCHEDULE 1/S1.1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL NEW, EXTERIOR WALLS SHALL BE SHEATHED PER SW6, UNO.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

**FLOOR FRAMING NOTES:**

- FLOOR SHEATHING SHALL BE MIN. 3/4" APA RATED SHEATHING (48/24). NAIL @ ALL PANEL EDGES AND OVER ALL SHEAR WALLS w/0.113" @ 6"oc AND 12"oc TO ALL INTERMEDIATE FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOISTS DIRECTION, STAGGER PANEL JOINTS.
- EXISTING FLOOR FRAMING IS 2x10 JOISTS @ 16"oc, DIRECTION PER PLAN.
- INDICATES STRAP AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 2/S1.1.

HANGER SCHEDULE	
MEMBER	HANGER
2x10/2x12	LUS210
(2)2x10	LUS210-2
14" TJI/230	IUS/ITS2.37/14
(2)14" TJI/230	MIU4.75/14
14" TJI/360	IUS/ITS2.37/14
1-1/2x14 LSL/LVL	HUS1.81/10
3-1/2x14 LSL/PSL	HHUS410
5-1/2x14 PSL	MGU5.50-SDS
7x14 PSL	HGU7.25-SDS

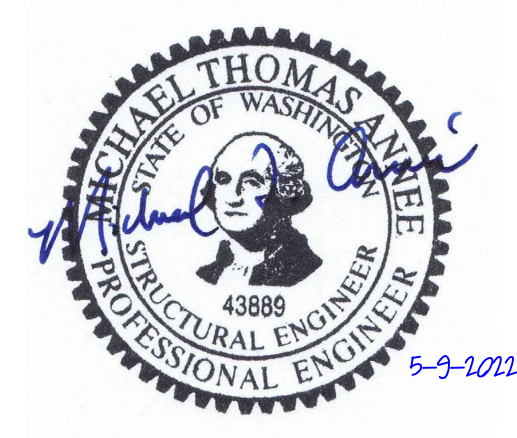
**1st Floor Framing Plan**

S2.1



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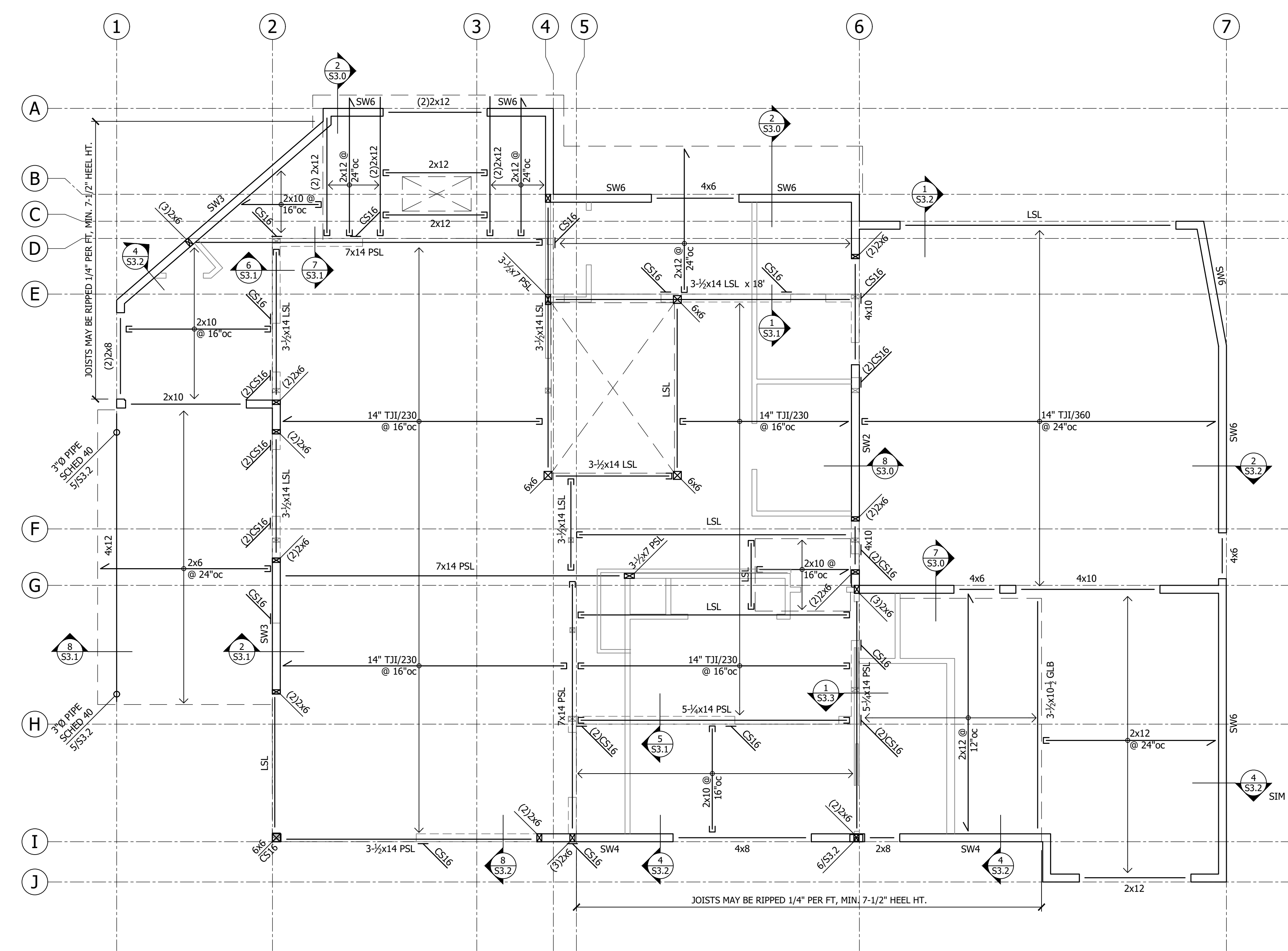
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Revision Issue Date Drawing Set

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2nd Floor Framing Plan  
SCALE: 1/4" = 1'-0"

GENERAL FRAMING NOTES:

- ALL 14" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.1 FOR TYPICAL POST-TO-BEAM CONNECTIONS
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.1 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16"oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.

FLOOR FRAMING NOTES:

- FLOOR SHEATHING SHALL BE MIN 3/4" APA RATED SHEATHING (48/24). NAIL @ ALL PANEL EDGES AND OVER ALL SHEAR WALLS w/0.113"φ @ 6"oc AND 12"oc TO ALL INTERMEDIATE FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOISTS DIRECTION, STAGGER PANEL JOINTS.
- TYPICAL FLOOR FRAMING SHALL BE 14" TJI/230 @ 16"oc, DIRECTION PER PLAN. JOIST TO SPAN CONTINUOUS AS INDICATED ON PLAN.
- LSL - INDICATES FLUSH-FRAMED 1-1/2"x14" LSL BEAM. ALL JOISTS AND 14" DEEP BEAMS SHALL BE FLUSH-FRAMED & ALL 4x HEADERS/GLULAM BEAMS SHALL BE DROPPED UNO.
- DS - INDICATES 1-1/2"x14" LSL DRAG STRUT UNO; ATTACH SHEATHING ALONG ENTIRE LENGTH w/ 0.131"φ @ 4"oc

- INDICATES HOLDOWN LOCATED AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 4/S1.1.
- INDICATES STRAP AT END OF SHEAR WALL ABOVE, SEE SCHEDULE ON 2/S1.1.

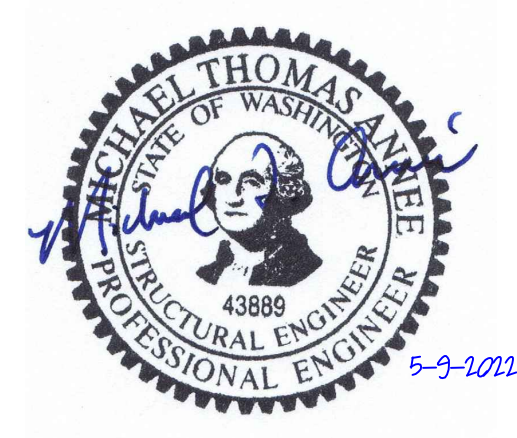
HANGER SCHEDULE	
MEMBER	HANGER
2x10/2x12	LUS210
(2)2x10	LUS210-2
14" TJI/230	IUS/ITS2.37/14
(2)14" TJI/230	MIU4.75/14
14" TJI/360	IUS/ITS2.37/14
1-1/2x14 LSL/LVL	HUS1.81/10
3-1/2x14 LSL/PSL	HHUS410
5-1/2x14 PSL	MGUS.50-SDS
7x14 PSL	HGU7.25-SDS

S2.2



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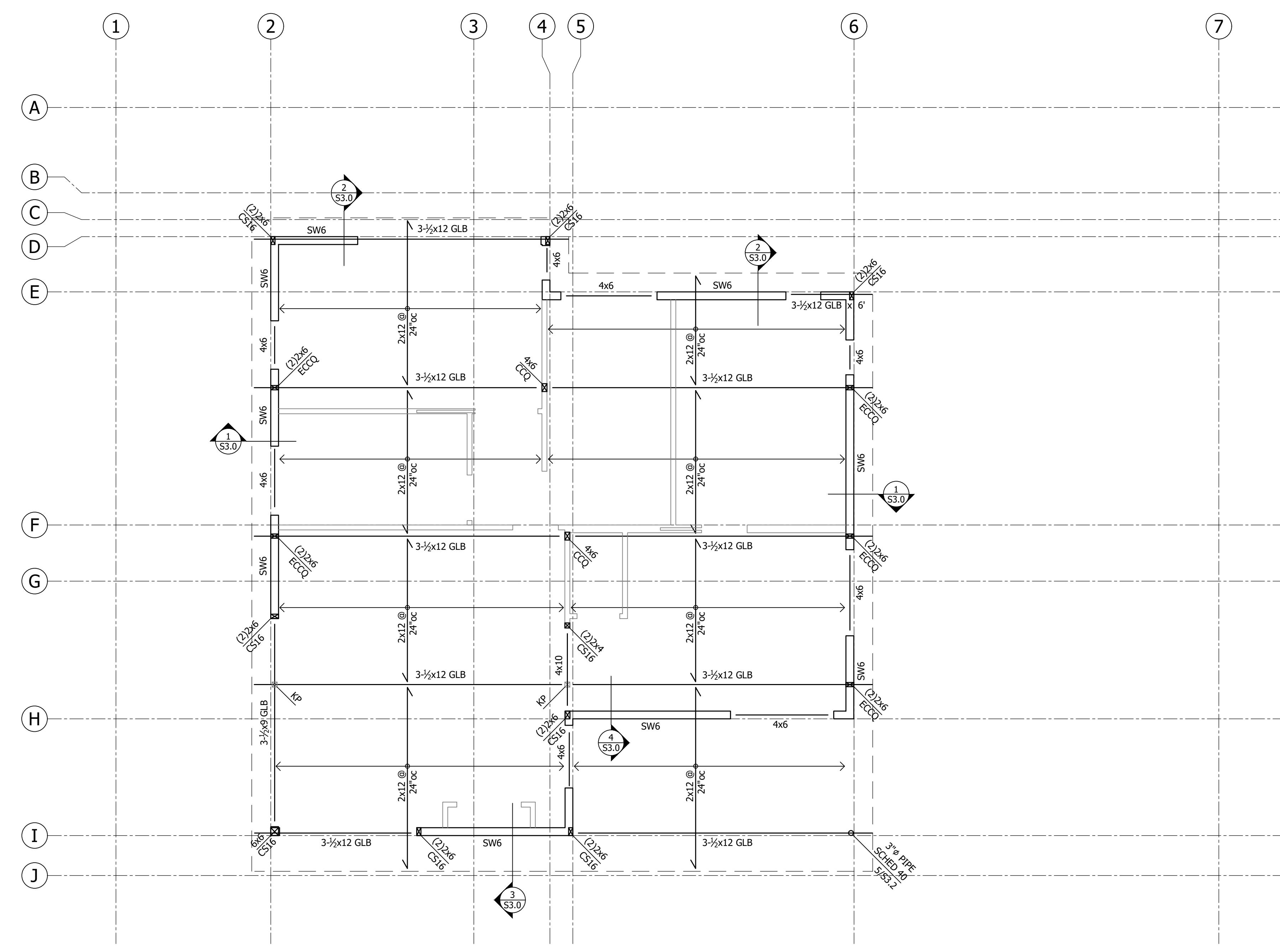
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Revision Issue Date Drawing Set

5/9/2022 Permit Set



**Roof Framing Plan**  
SCALE: 1/4" = 1'-0"

**GENERAL FRAMING NOTES:**

- ALL 14" BEAMS SHALL BE FLUSH AND ALL HEADERS DROPPED, UNO. SEE 3/S3.1 FOR TYPICAL POST-TO-BEAM CONNECTIONS
- TYP. HEADERS SHALL BE 4x6 DF#2, UNO, SEE 4/S3.1 FOR INSTALLATION.
- PROVIDE (2) BEARING STUDS UNDER EACH END OF ALL BEAMS AND (1) 2x TRIMMER (BEARING) STUD AND (1) 2x KING (FULL-HEIGHT) STUD AT EACH END OF ALL HEADERS, UNO. NAIL STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SOLID BEARING BELOW ALL POINT LOADS ABOVE.
- STUD WALLS SHALL BE 2x HF STUDS @ 16"oc, UNO. SEE SHEAR WALL, HOLDOWN AND STRAP SCHEDULES ON S1.1 FOR ADDITIONAL REQUIREMENTS AT SHEAR WALL FRAMING.

**ROOF FRAMING NOTES:**

- AT BREAKS IN DOUBLE TOP PLATE OF ALL EXTERIOR WALLS AND ALL SHEAR WALLS SEE DETAIL 3/S1.1.
- SWx - INDICATES SHEAR WALL PER SCHEDULE 1/S1.1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL NEW, EXTERIOR WALLS SHALL BE SHEATHED PER SW6, UNO.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

**ROOF FRAMING NOTES:**

- ROOF SHEATHING SHALL BE 1/2" APA RATED SHEATHING (32/16). NAIL @ ALL FRAMED PANEL EDGES AND OVER ALL SHEAR WALLS w/0.131"φ @ 6"oc AND 12"oc TO ALL INTERMEDIATE FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOISTS DIRECTION, STAGGER PANEL JOINTS.
- TYPICAL ROOF FRAMING SHALL BE 2x12 HF#2 RAFTERS @ 24"oc UNO.
- INDICATES 4x4 DF#2 KING POST w/ CCG POST CAP AT TOP & BTM.
- INDICATES SCI16x 2'-4" STRAP FROM BEAM TO COLUMN OR BUILT-UP STUDS.

HANGER SCHEDULE	
MEMBER	HANGER
2x10/2x12	LUS210
(2)2x10	LUS210-2
14" TJI/230	IUS/ITS2.37/14
(2)14" TJI/230	MIU4.75/14
14" TJI/360	IUS/ITS2.37/14
1-3/4x14 LSL/LVL	HUS1.81/10
3-1/2x14 LSL/PSL	HHUS410
5-1/4x14 PSL	MGU5.50-SDS
7x14 PSL	HGU7.25-SDS

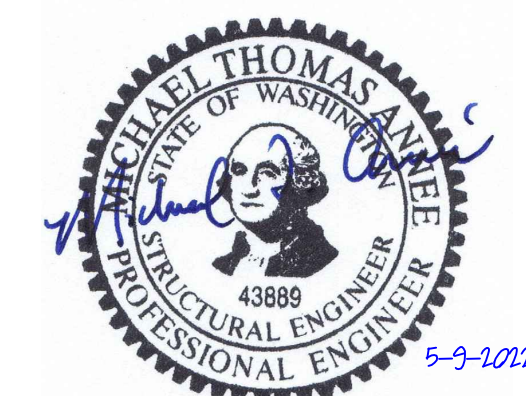
**Roof Framing Plan**

**S2.3**



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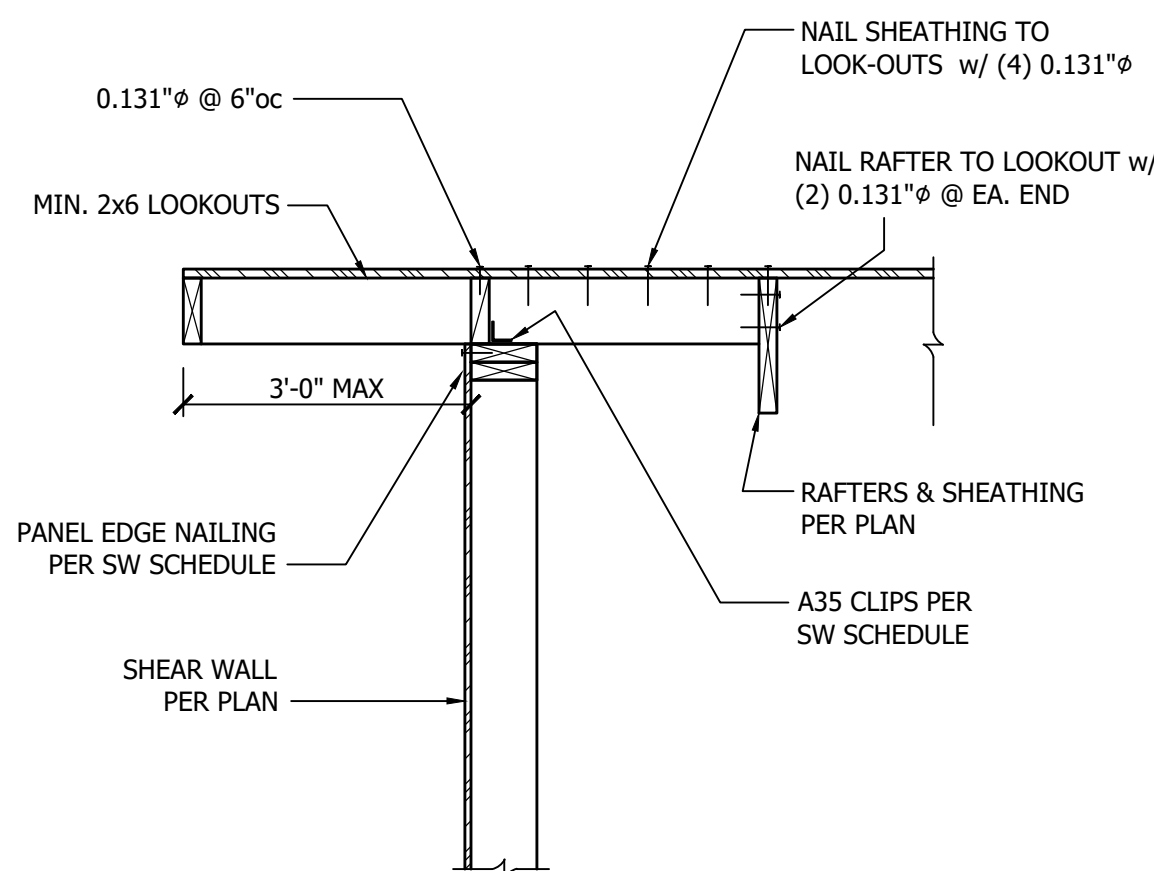
Ostroff Gaiotto  
4244 Shoreclub Drive, Mercer Island, WA 98040

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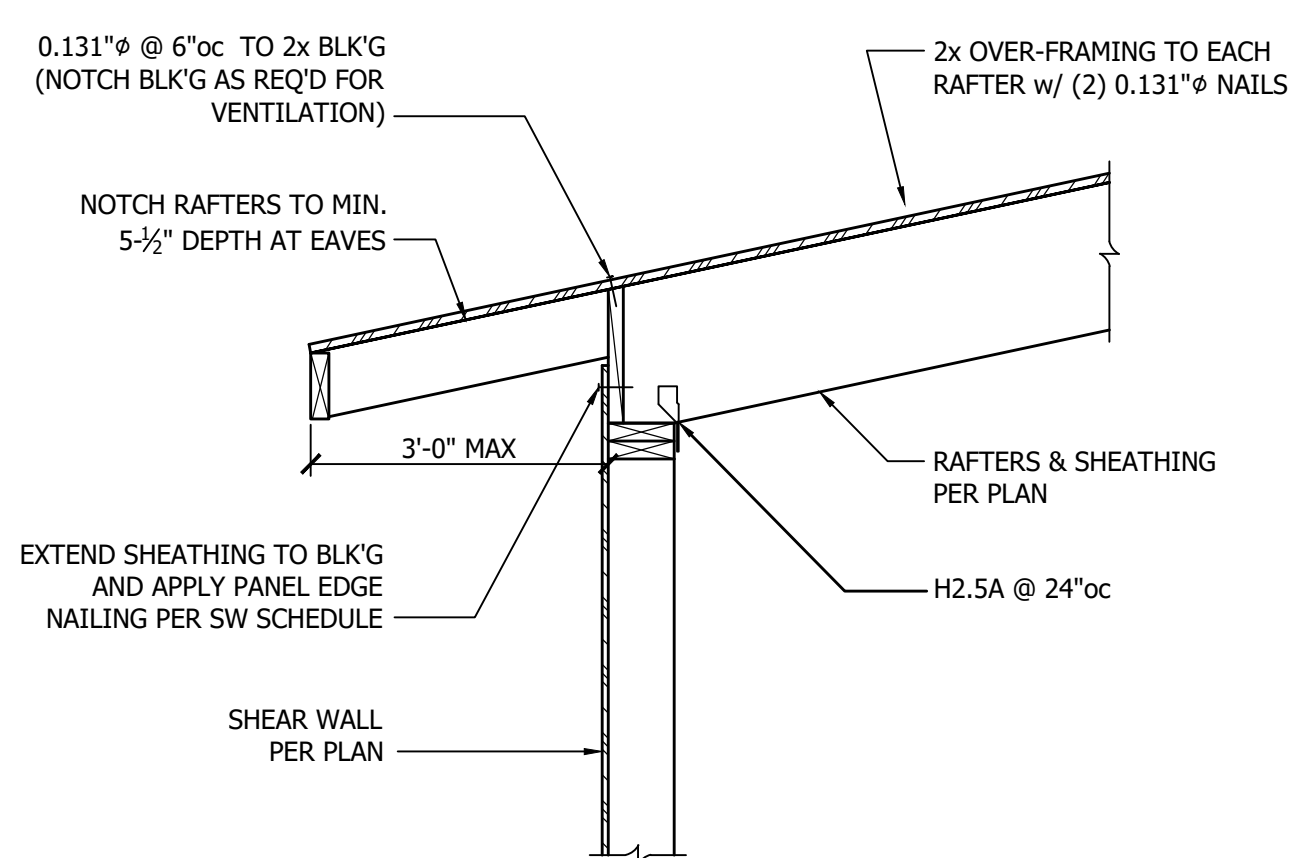
5/9/2022 Permit Set

Structural Details

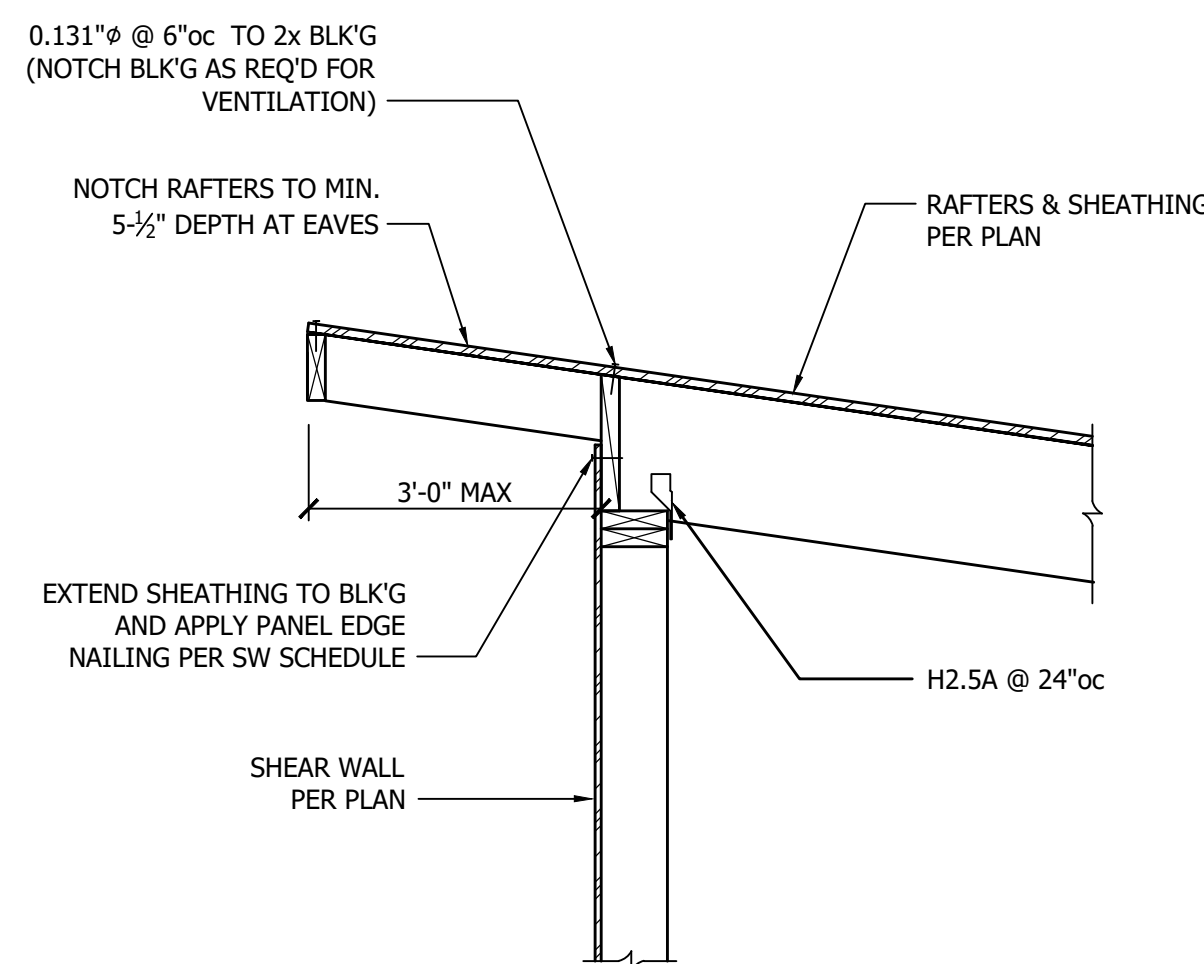
S3.0



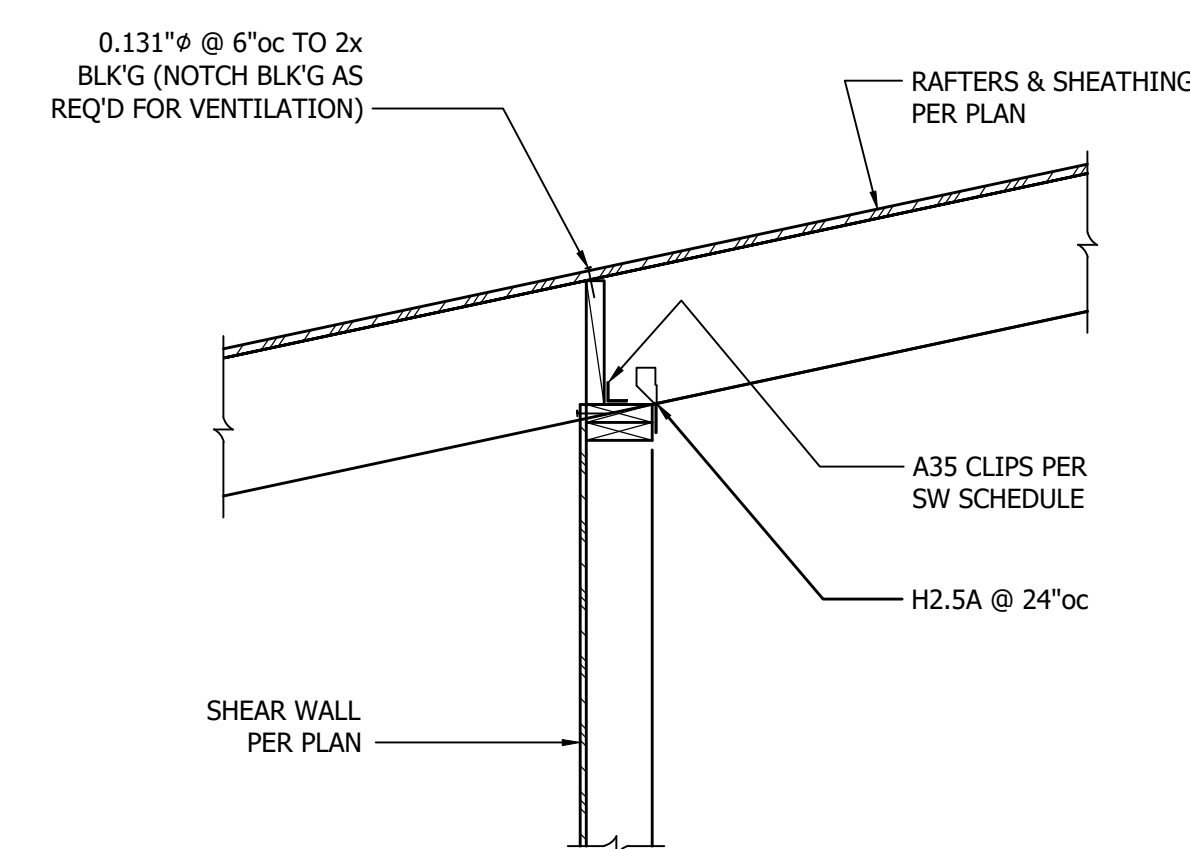
1 2x Rafter Parallel to Exterior Wall  
3/4" = 1'-0"



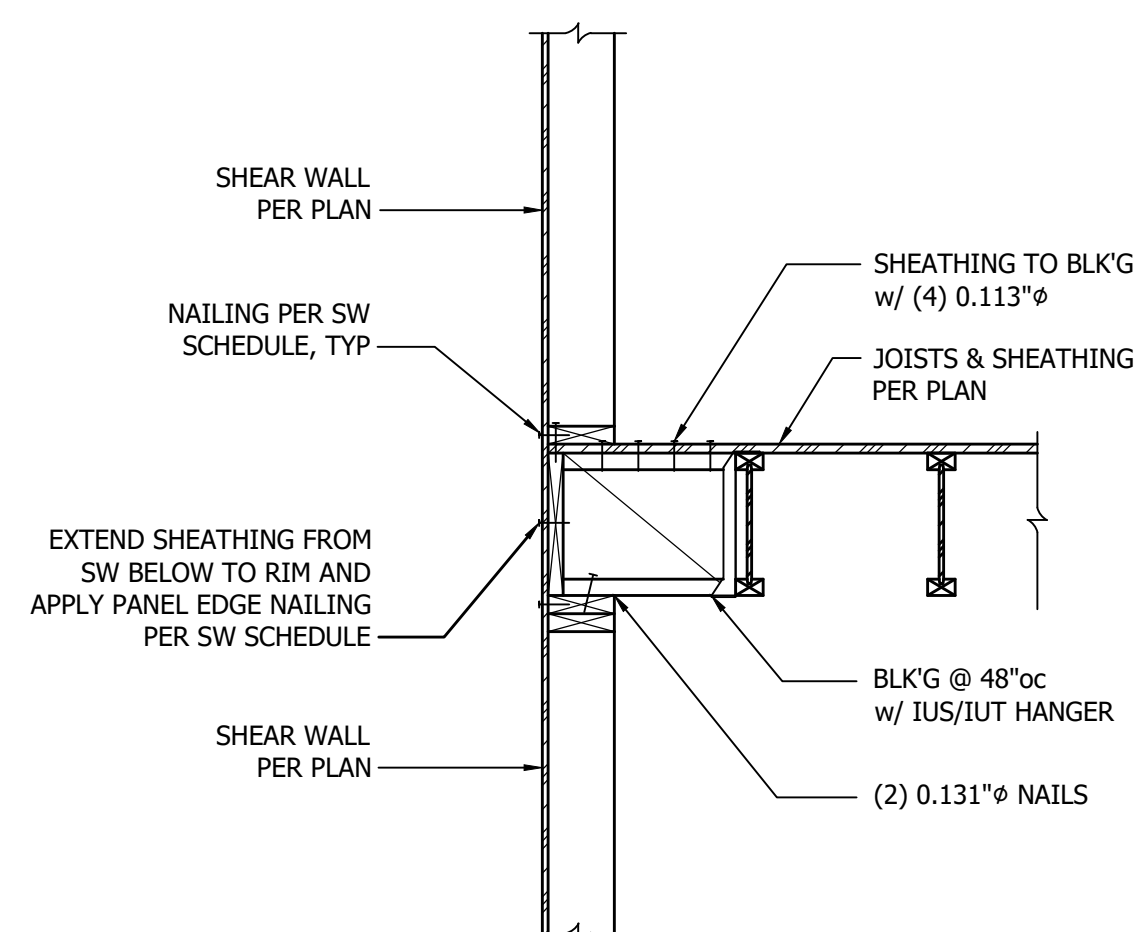
2 2x Rafters Perp. to Low Wall  
3/4" = 1'-0"



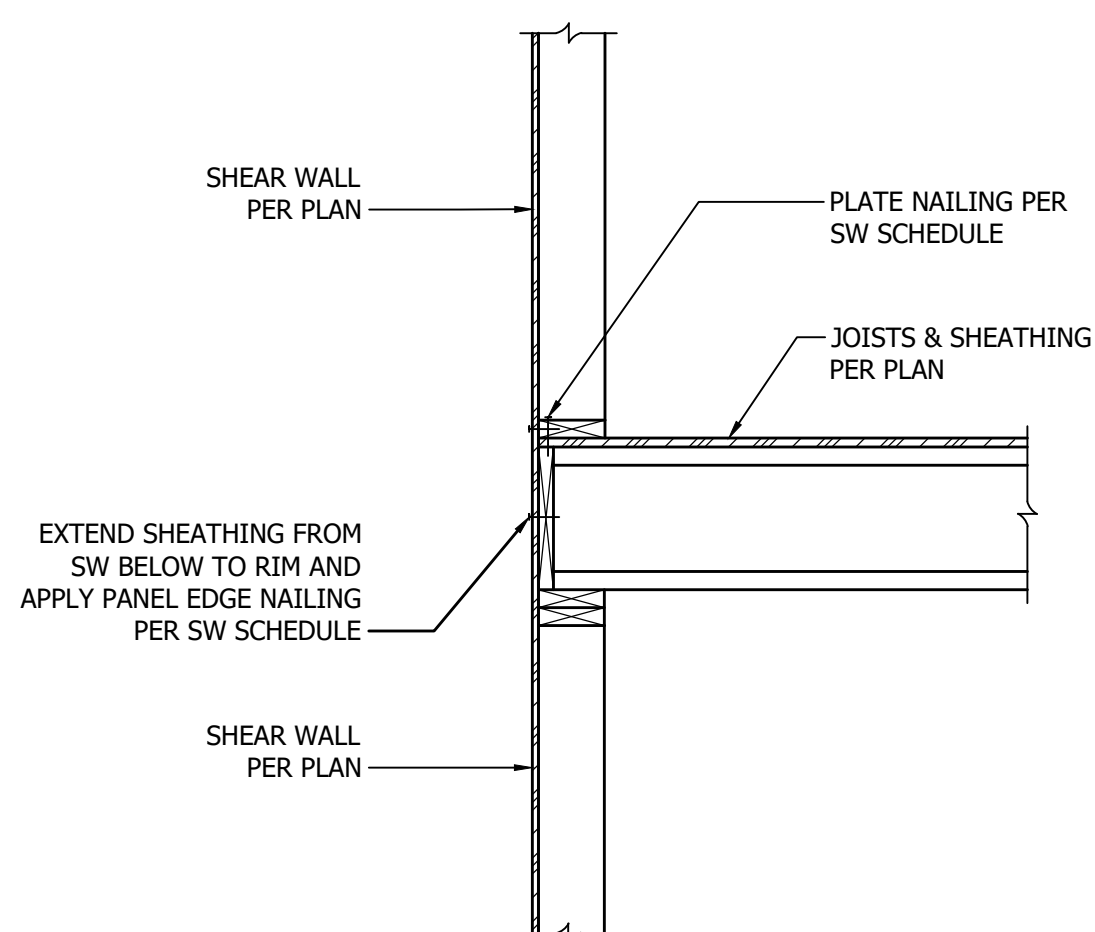
3 2x Rafters Perp. to High Wall  
3/4" = 1'-0"



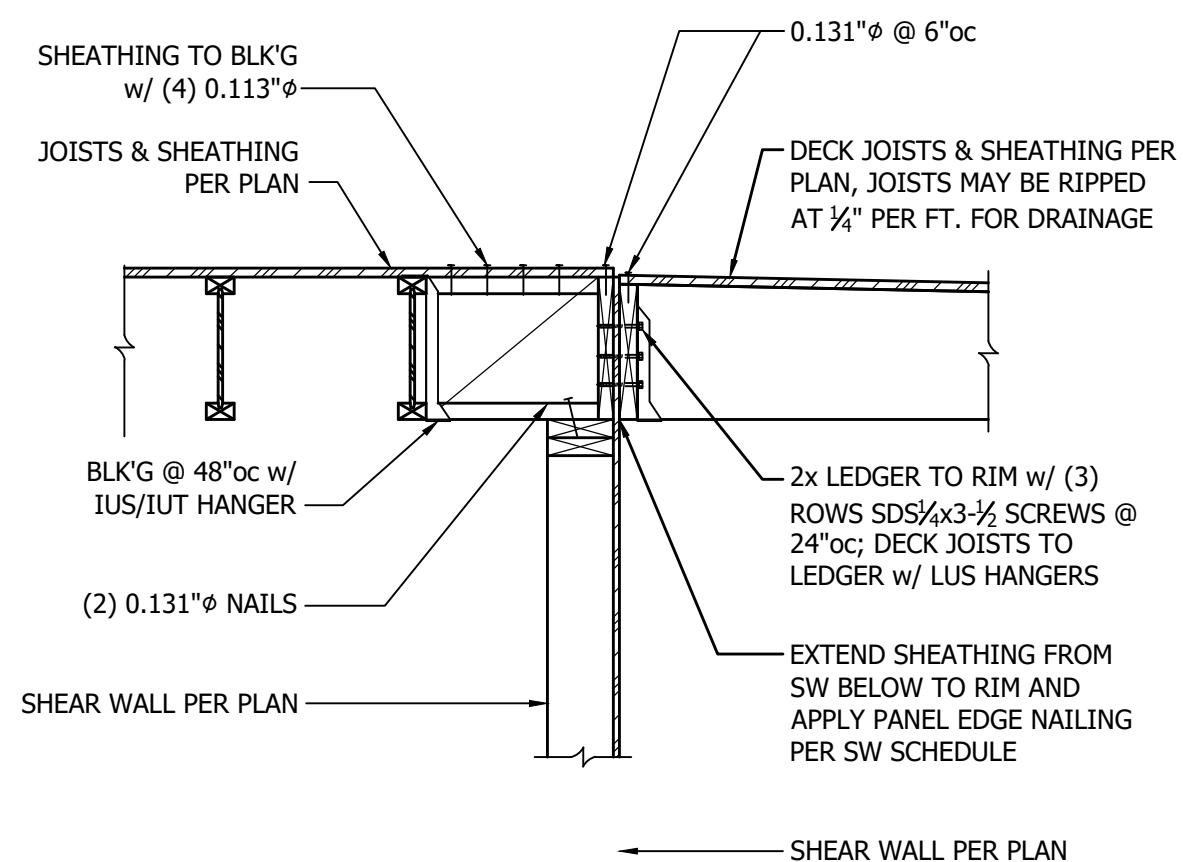
4 2x Rafters Perp. to Interior Wall  
3/4" = 1'-0"



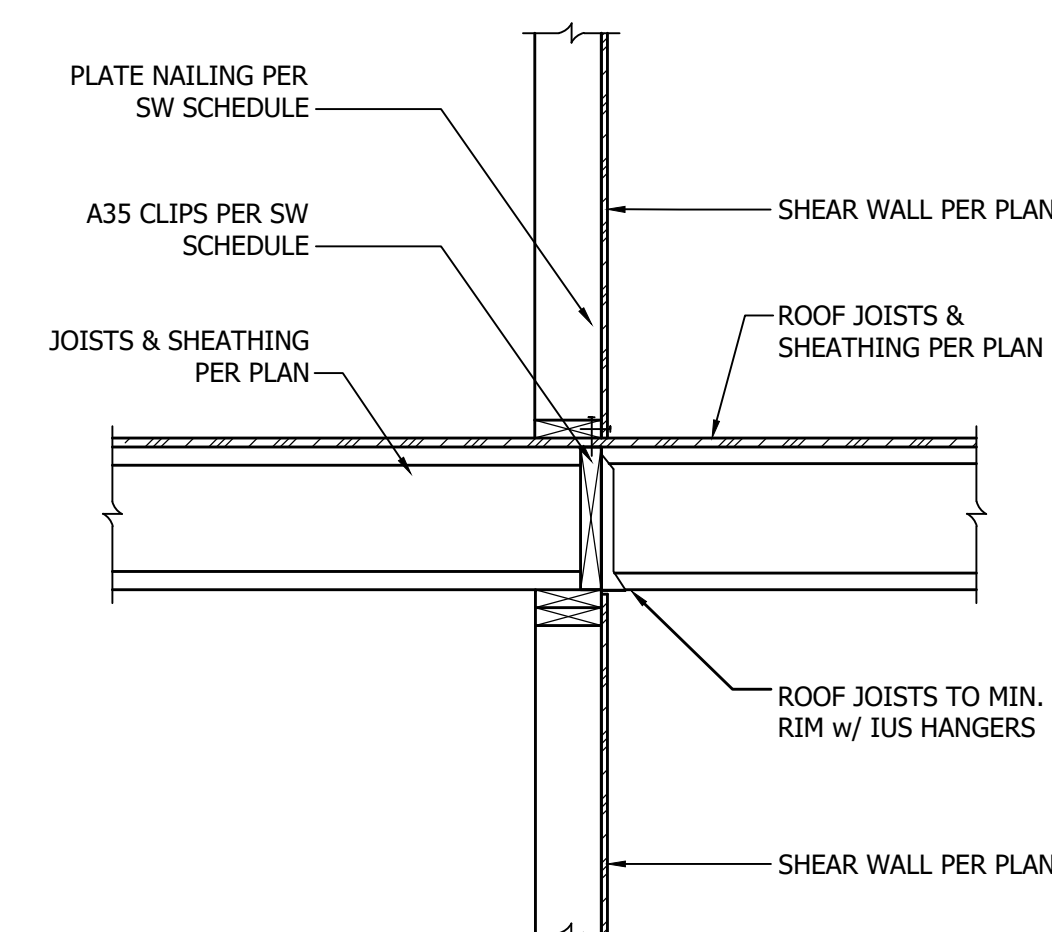
5 I-Joists Parallel to Exterior Wall  
3/4" = 1'-0"



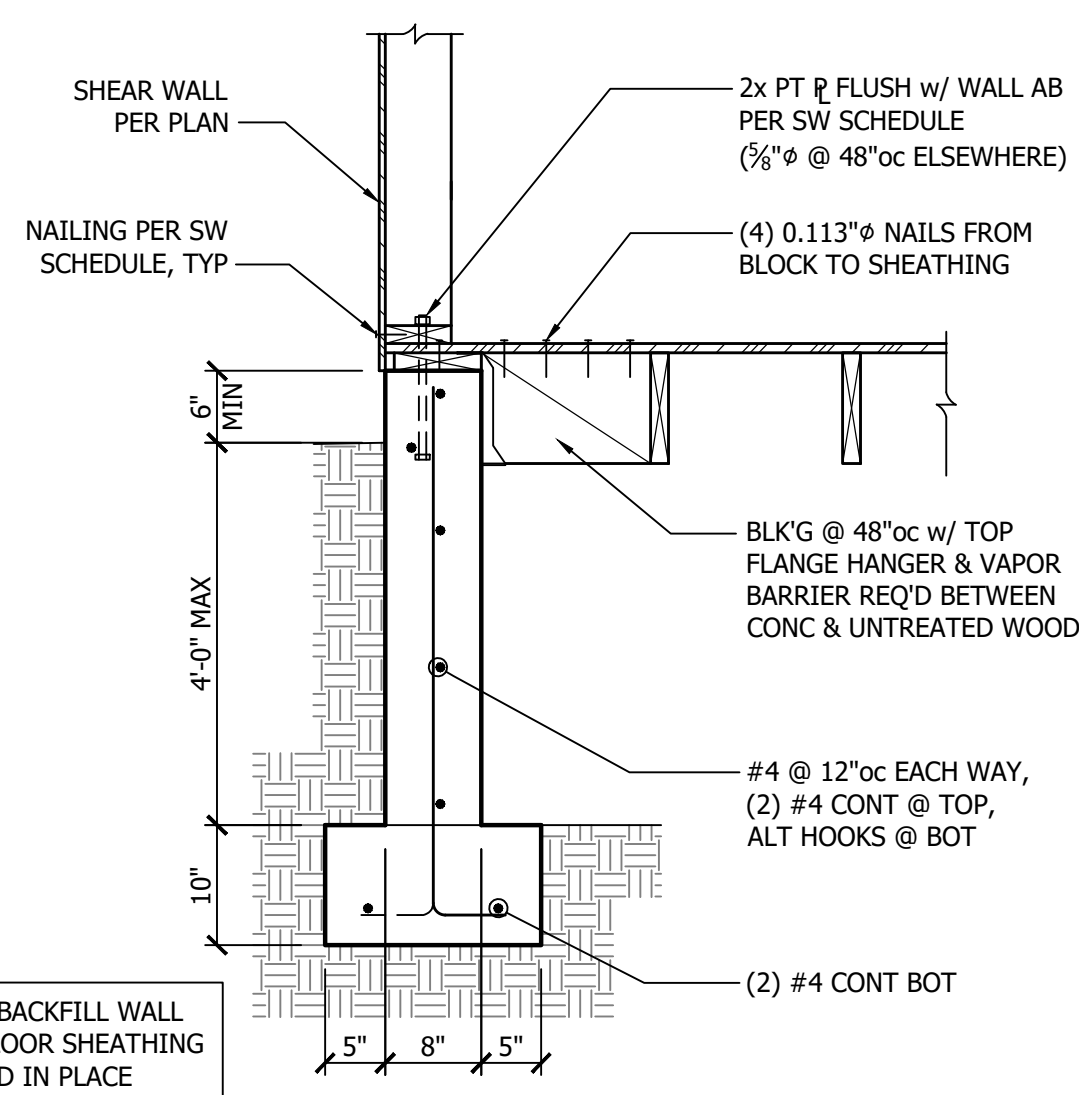
6 I-Joists Perpendicular to Exterior Wall  
3/4" = 1'-0"



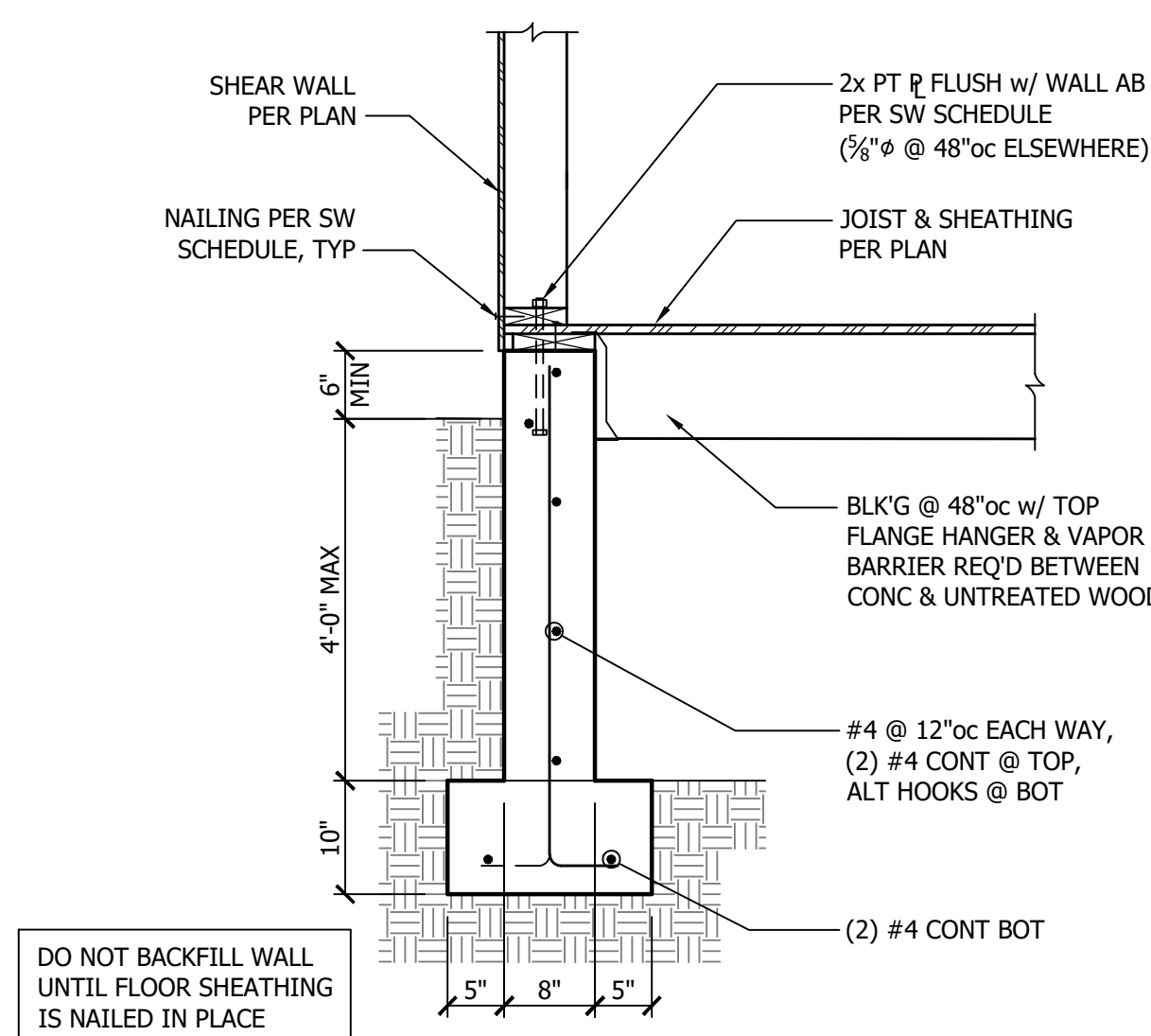
7 Parallel to Perp. at Roof Joists  
3/4" = 1'-0"



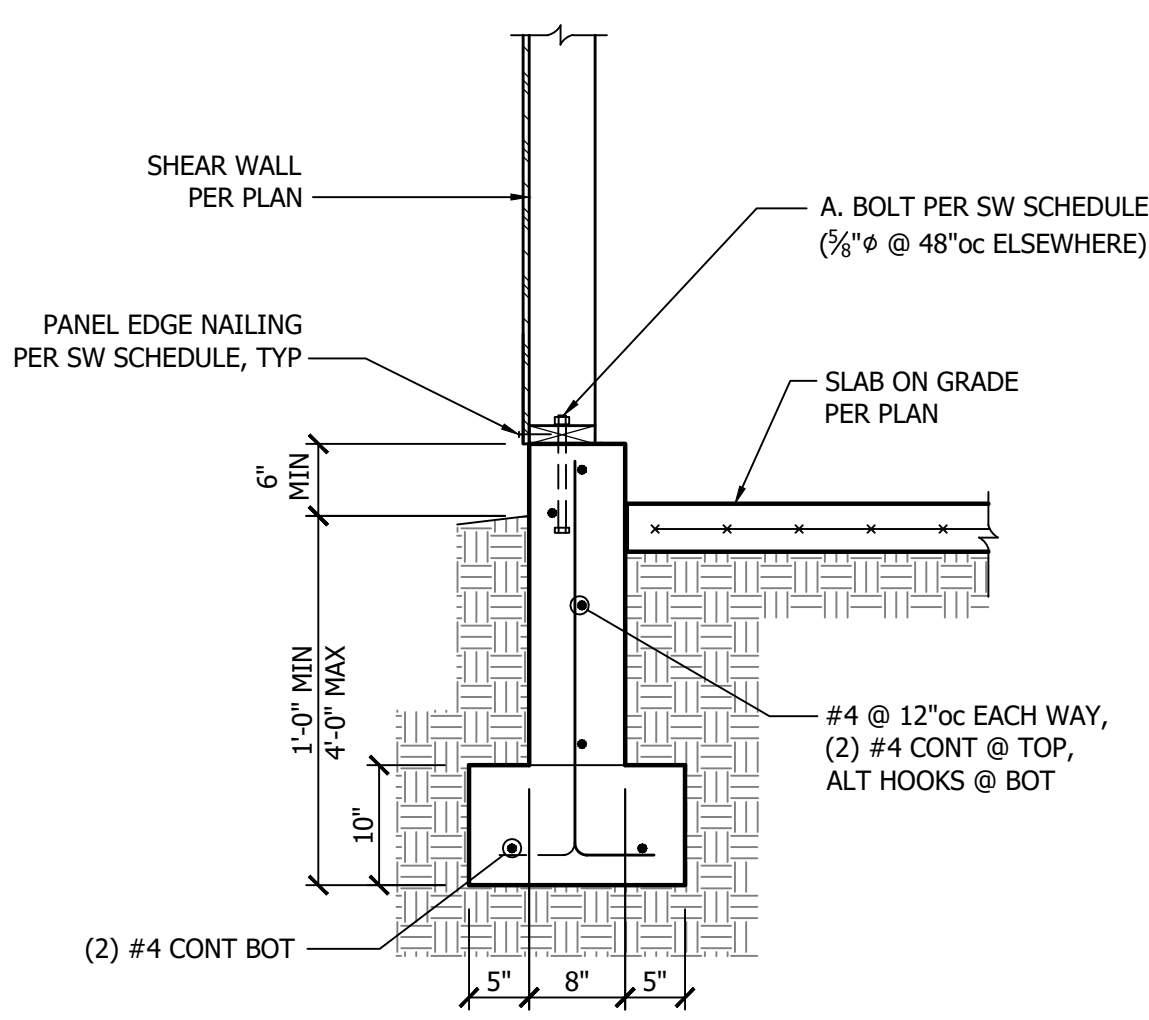
8 Transition at Floor to Roof Joists  
3/4" = 1'-0"



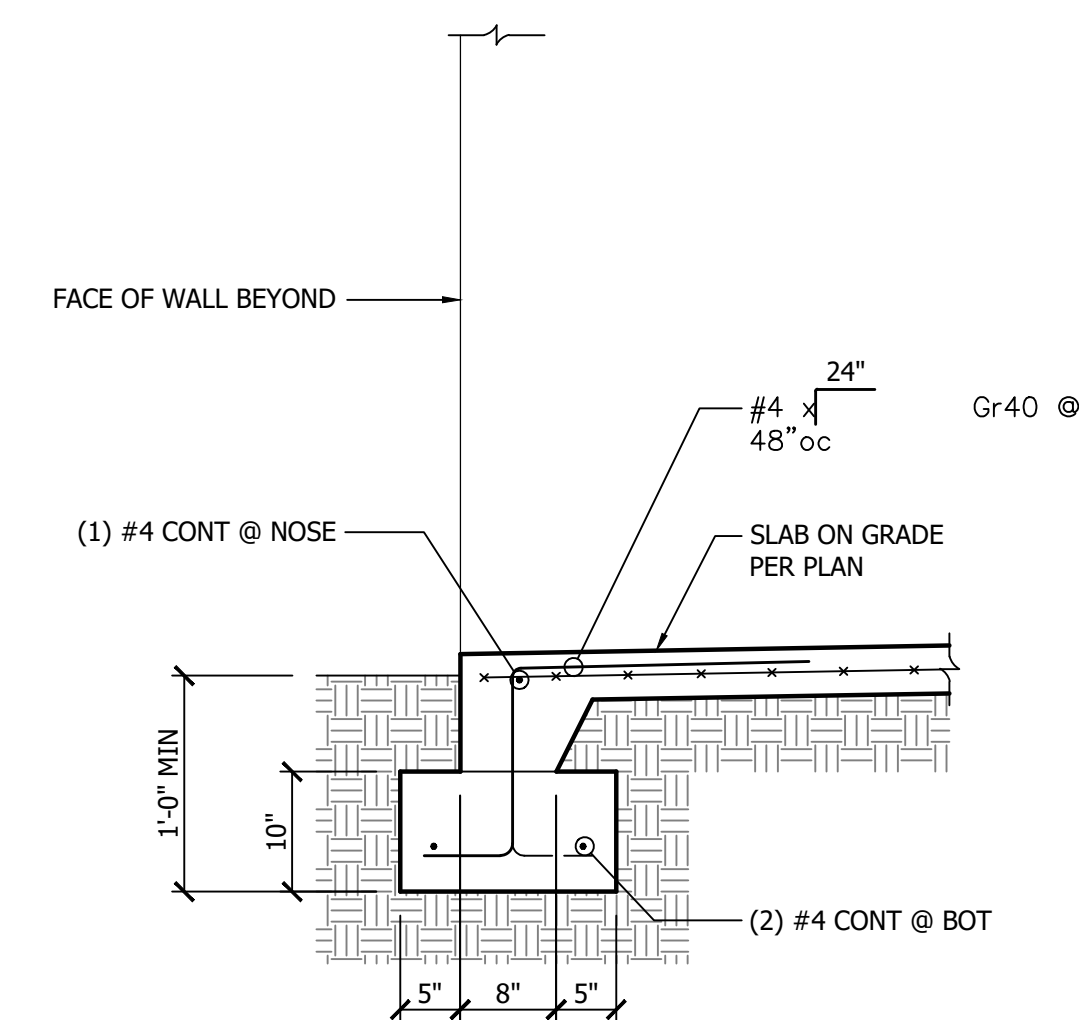
9 TJI Parallel to Flush Crawlspace Foundation  
3/4" = 1'-0"



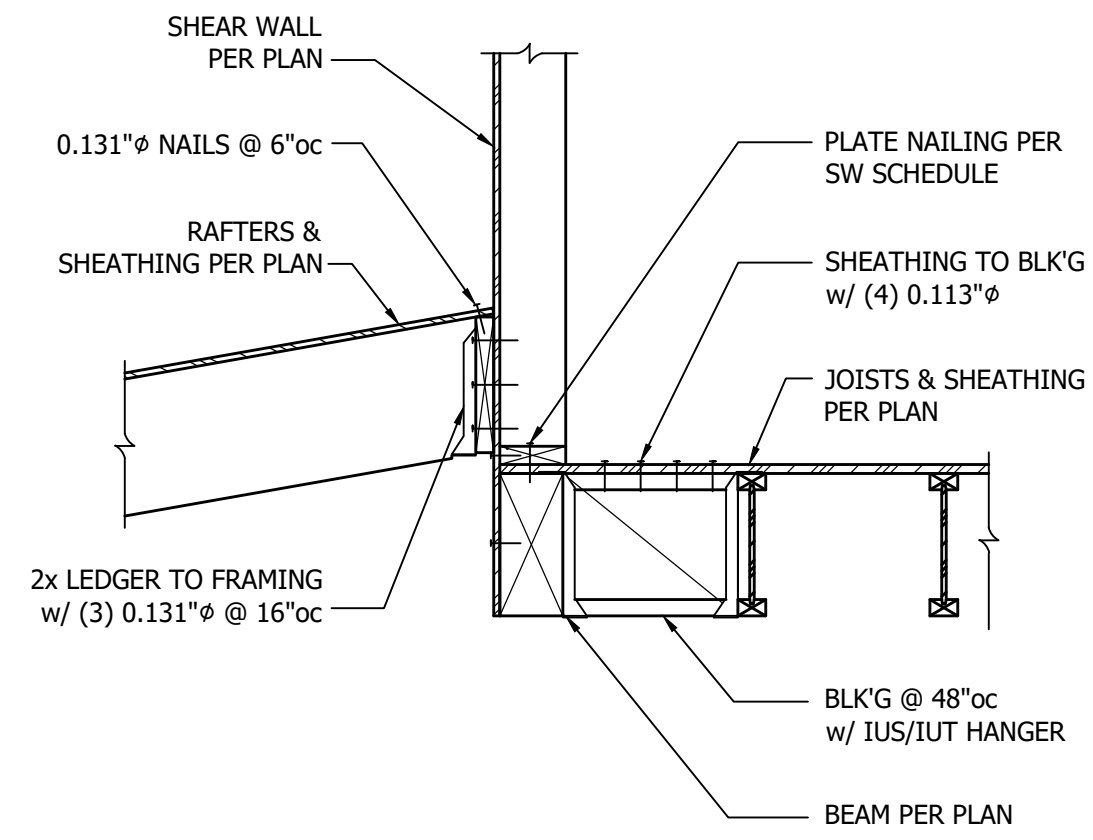
10 TJI Perp. to Flush Crawlspace Foundation  
3/4" = 1'-0"



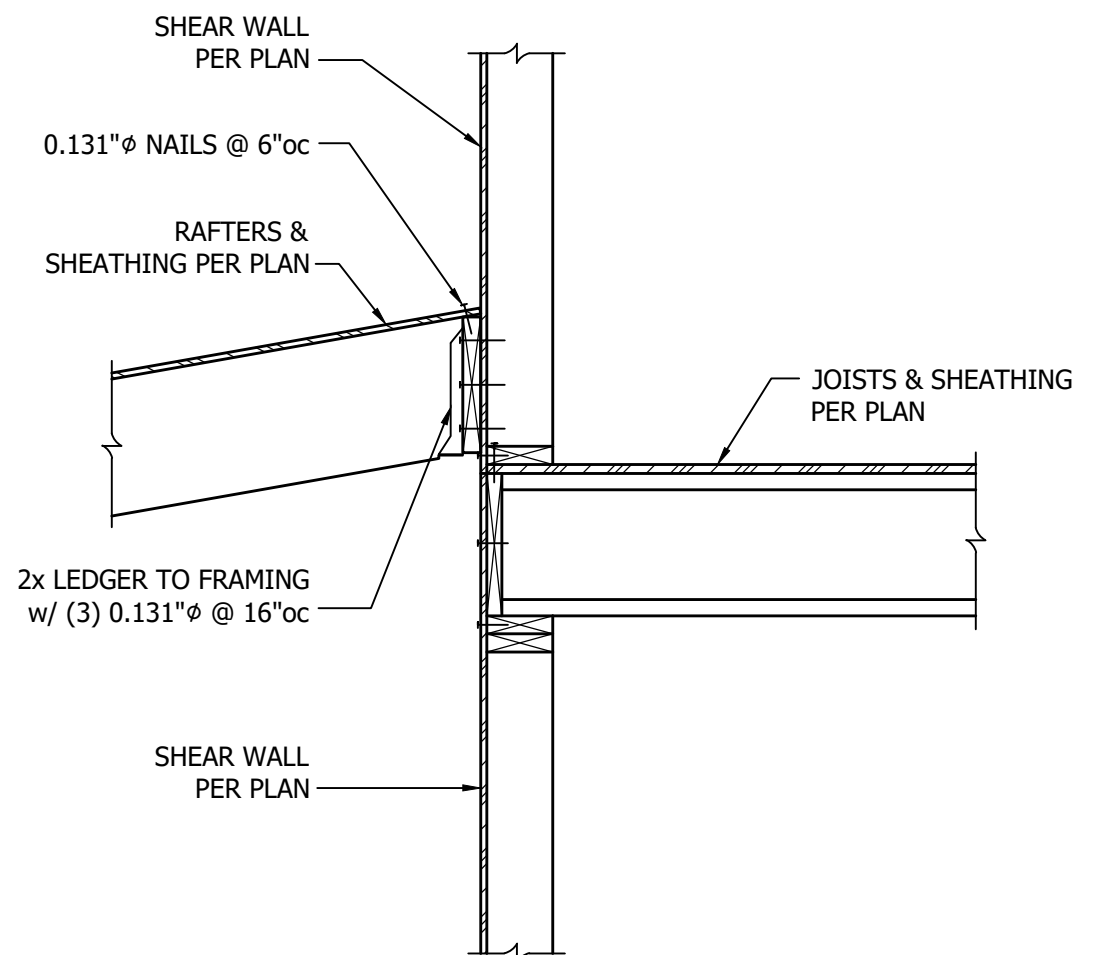
11 Stem Wall/Footing @ Exterior Garage Wall  
3/4" = 1'-0"



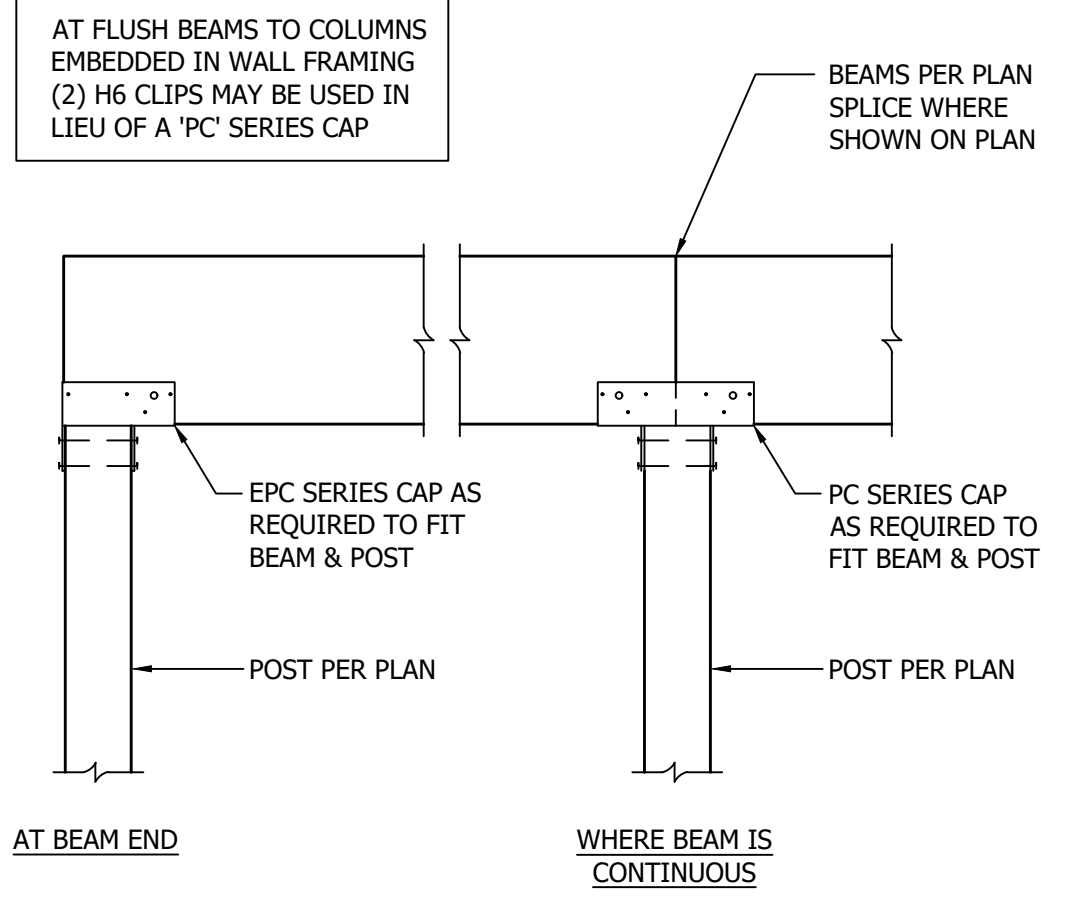
12 Footing @ Garage Opening  
3/4" = 1'-0"



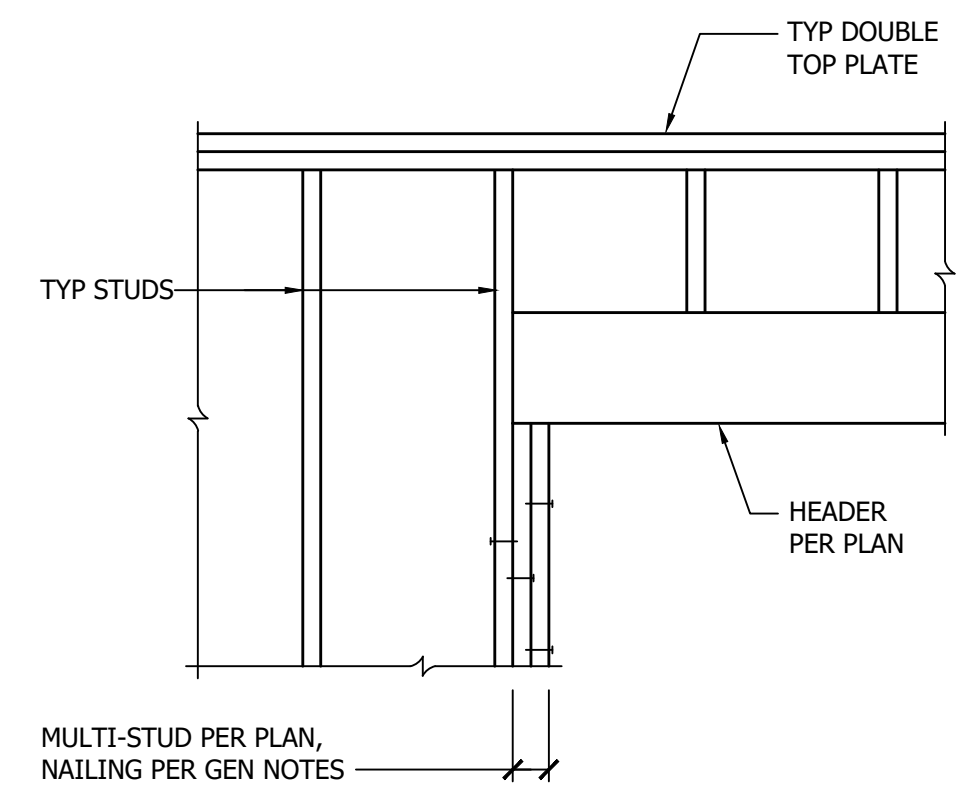
1 2x Low Roof at Parallel I-Joists  
3/4" = 1'-0"



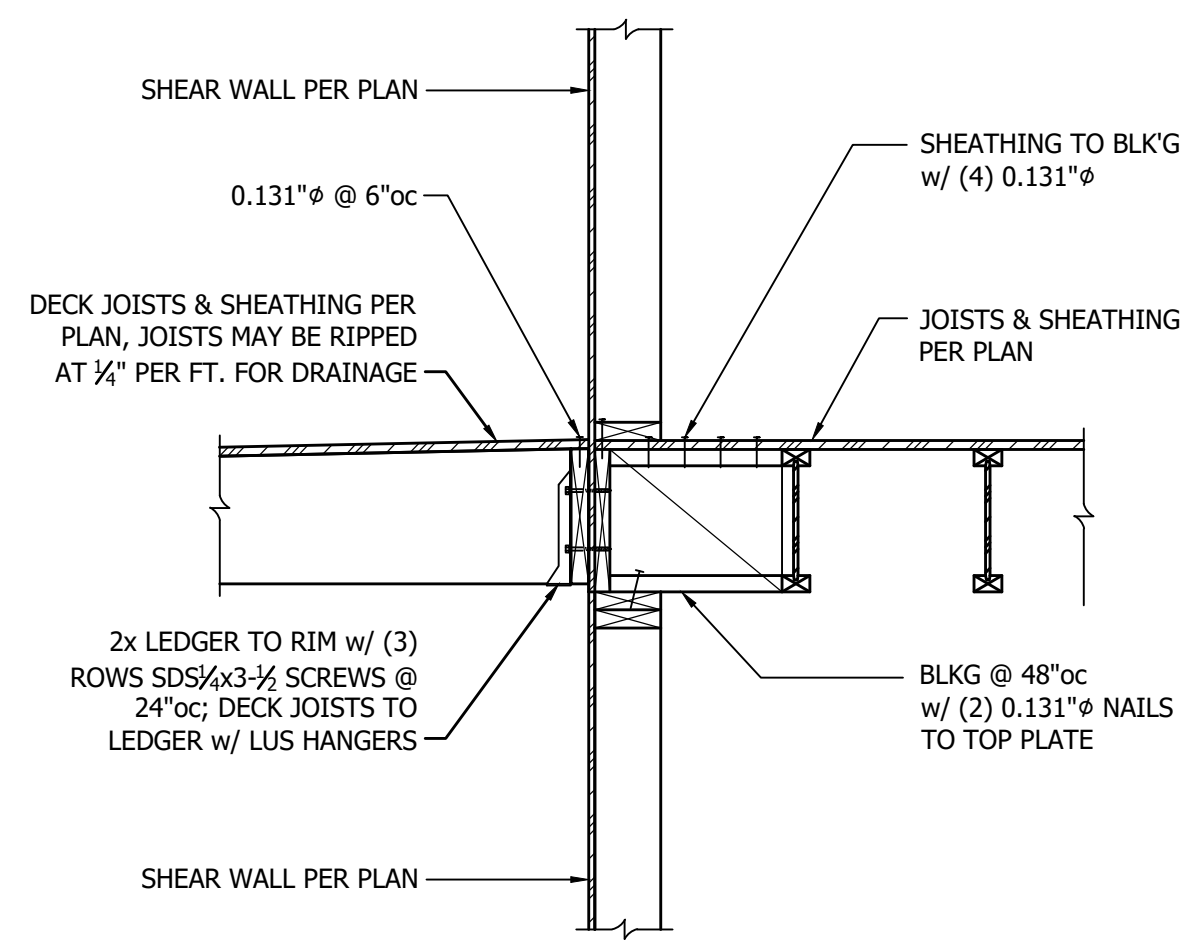
2 2x Low Roof at Perp. I-Joists  
3/4" = 1'-0"



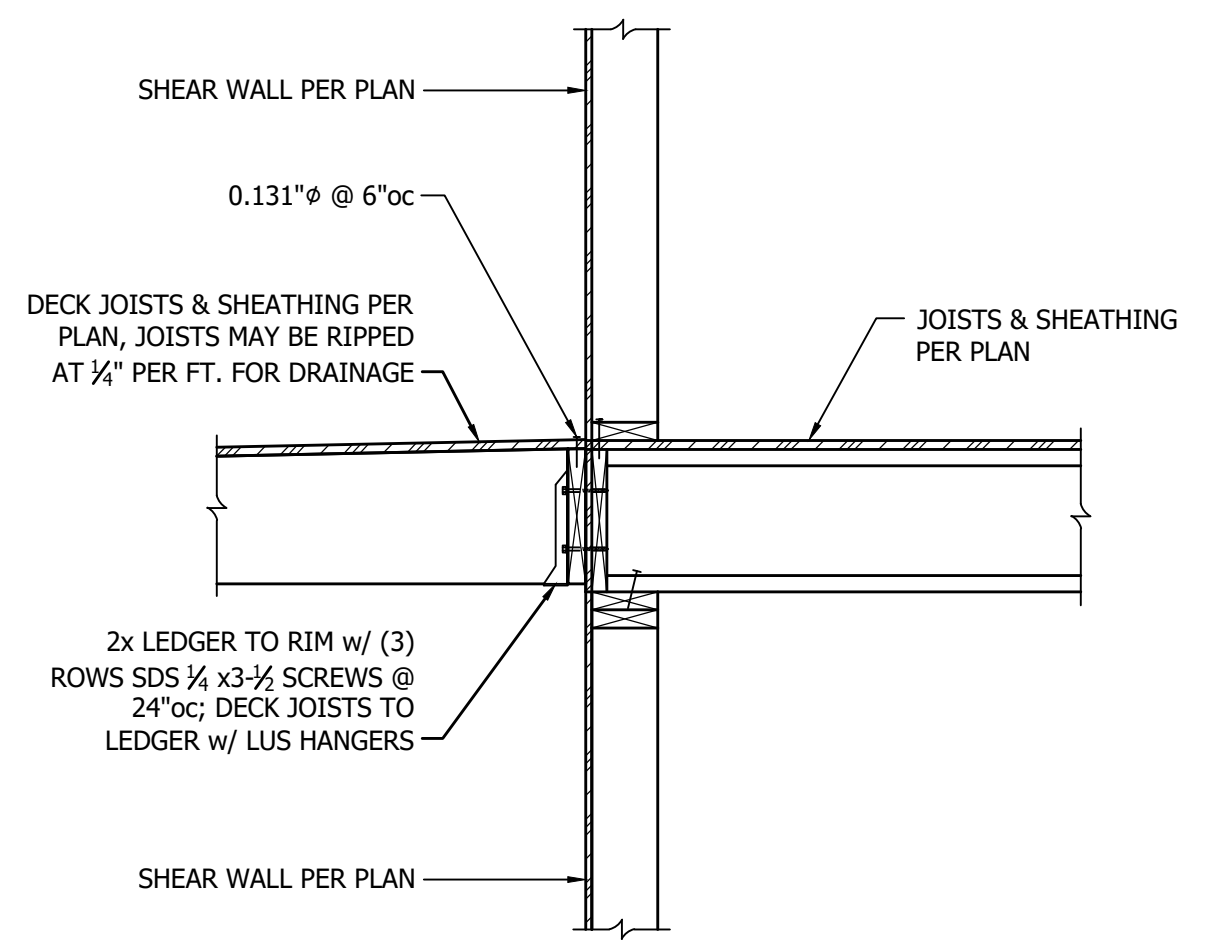
3 Wood Beam to Wood Column, Typ.  
3/4" = 1'-0"



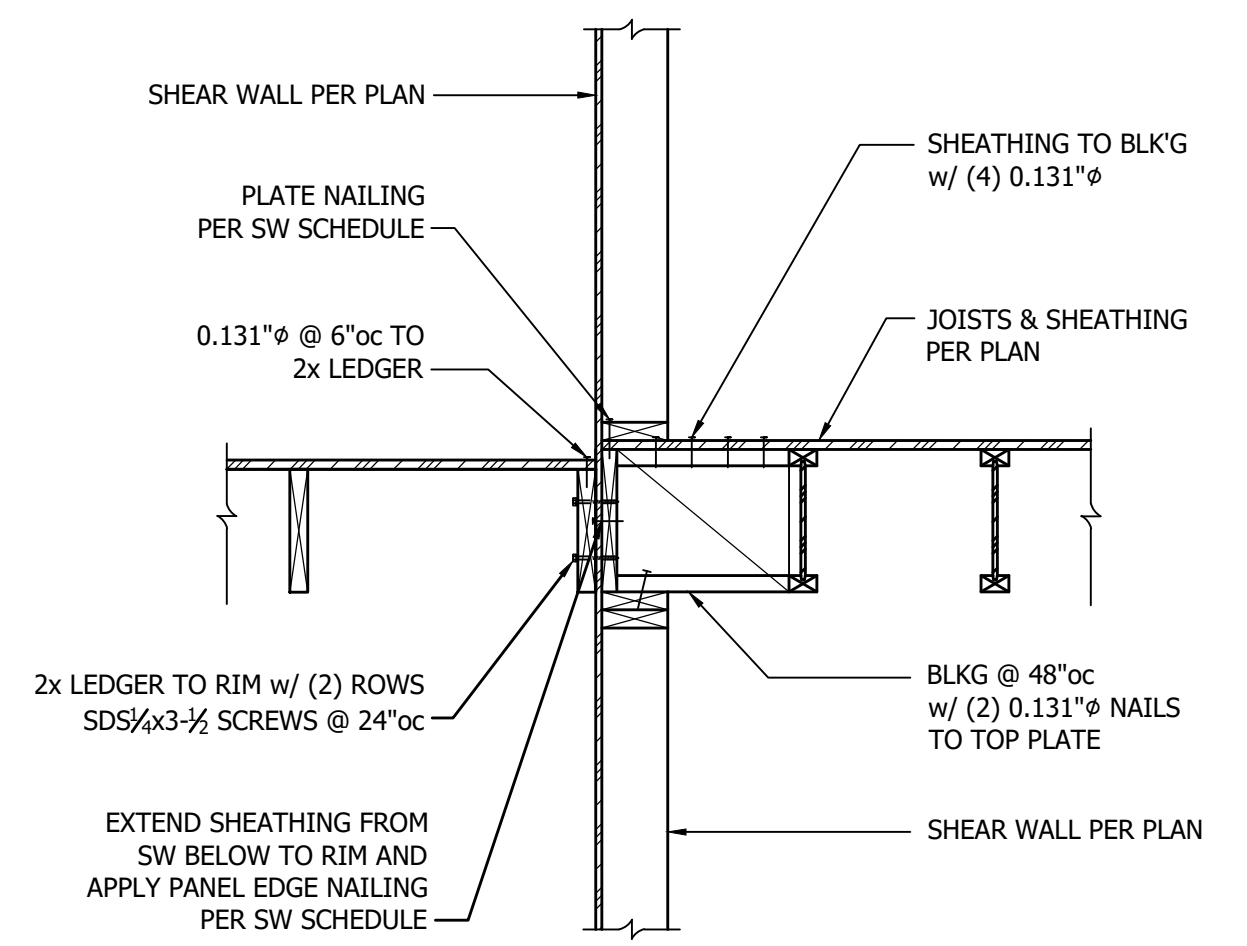
4 Header Support, Typ.  
3/4" = 1'-0"



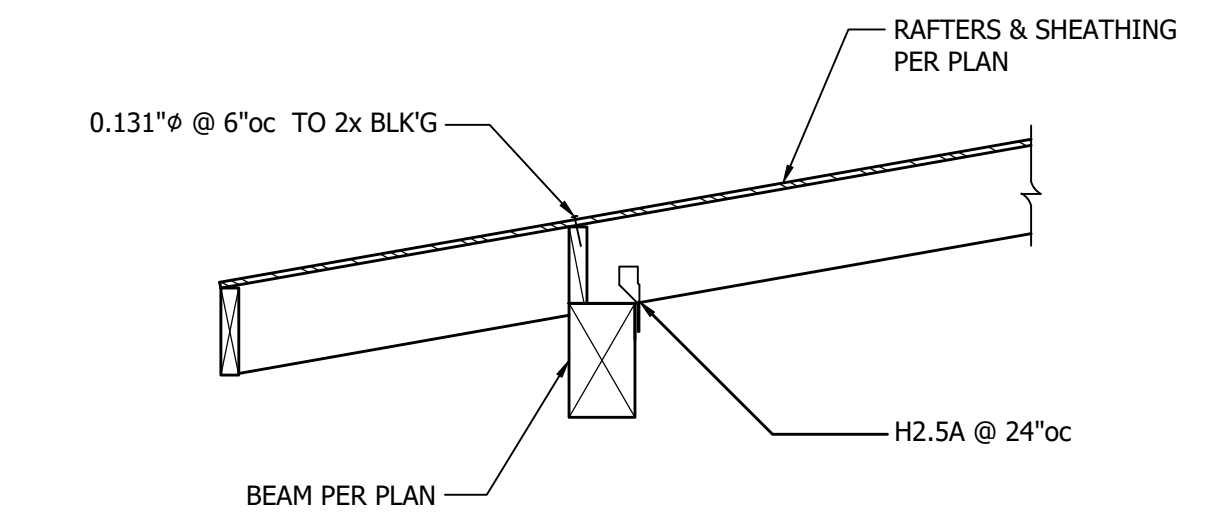
5 Deck Joists Perpendicular to Exterior Wall  
3/4" = 1'-0"



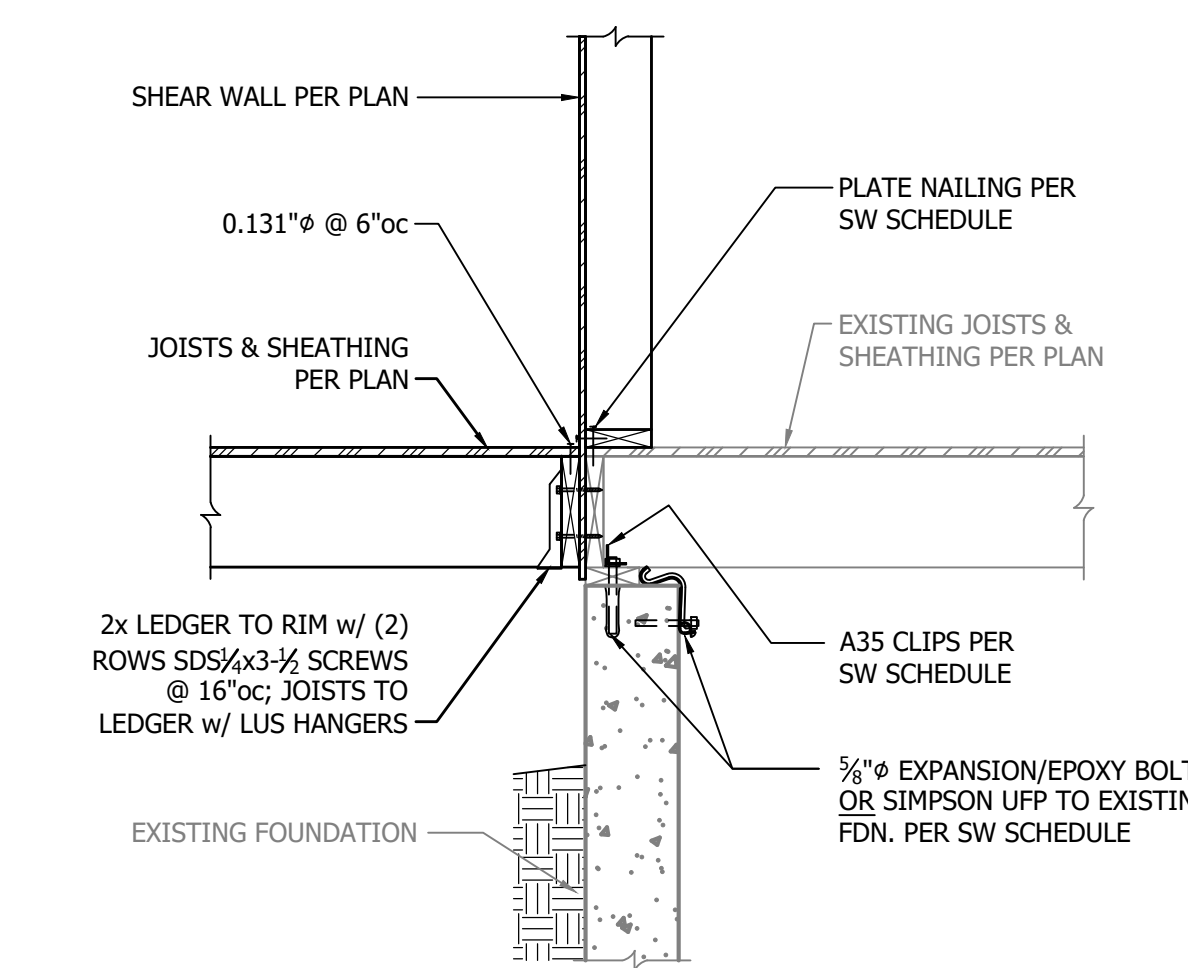
6 Deck Joists Perpendicular to Exterior Wall  
3/4" = 1'-0"



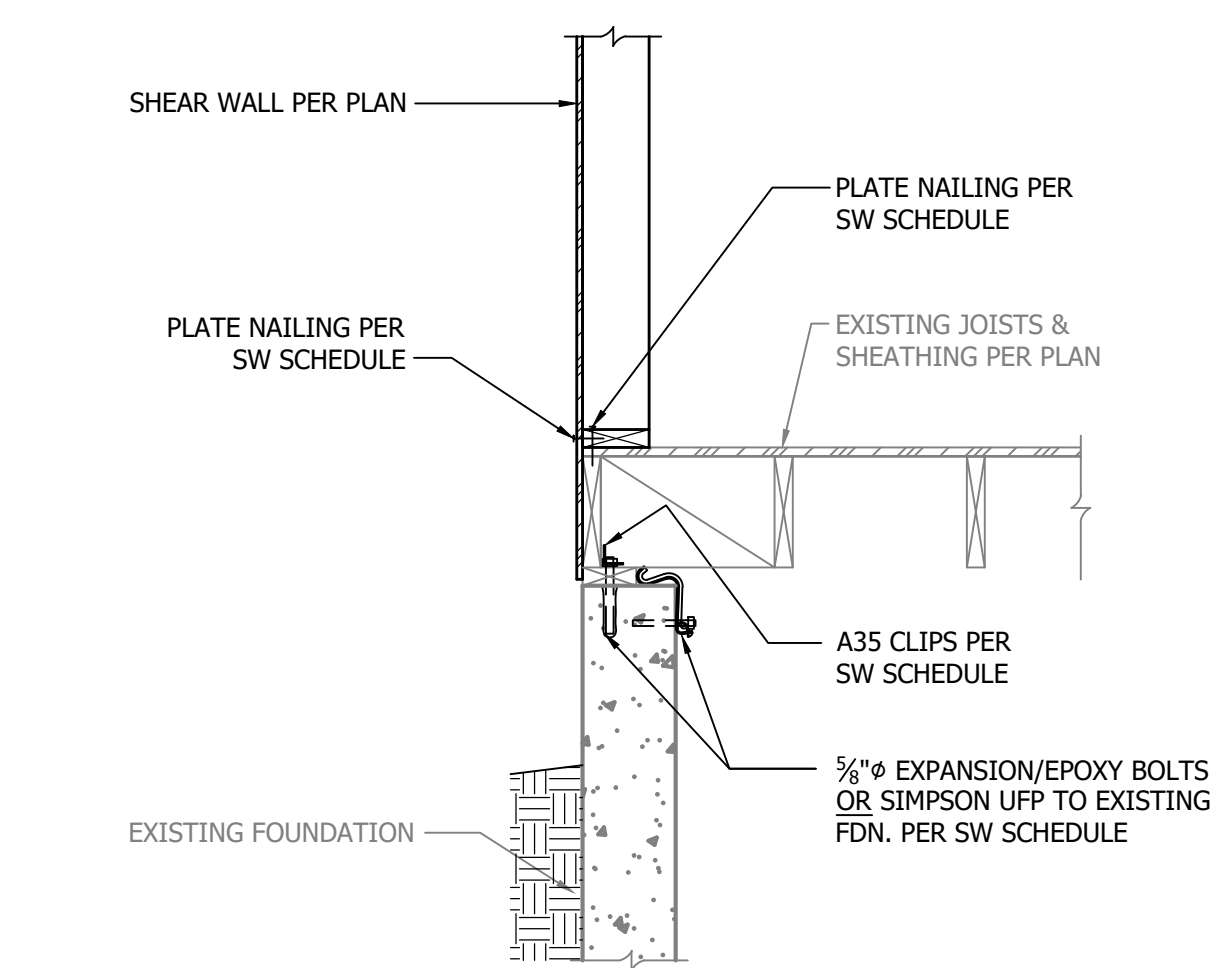
7 Deck Joists Parallel to Shear Wall  
3/4" = 1'-0"



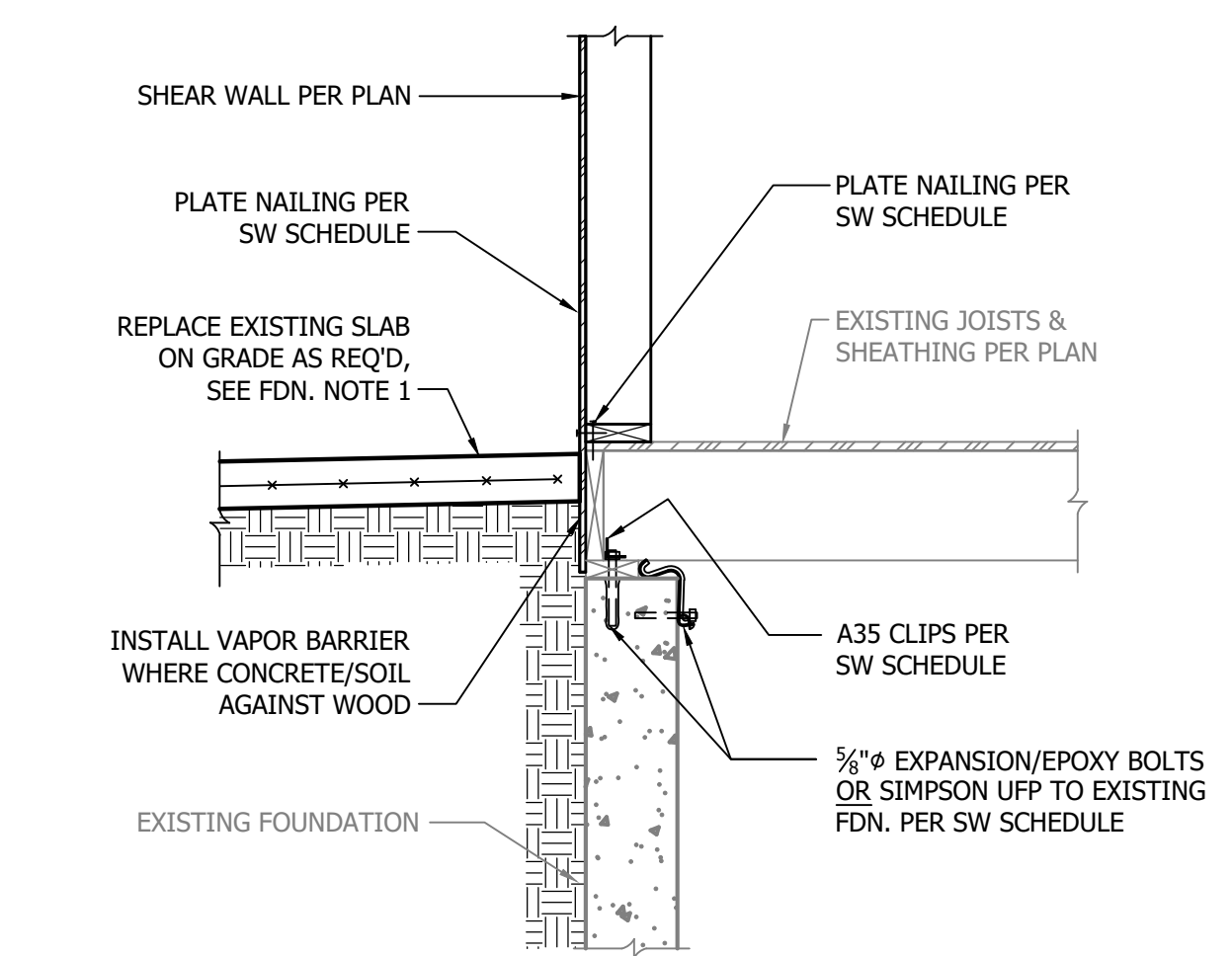
8 2x Rafters Perp. to Beam  
3/4" = 1'-0"



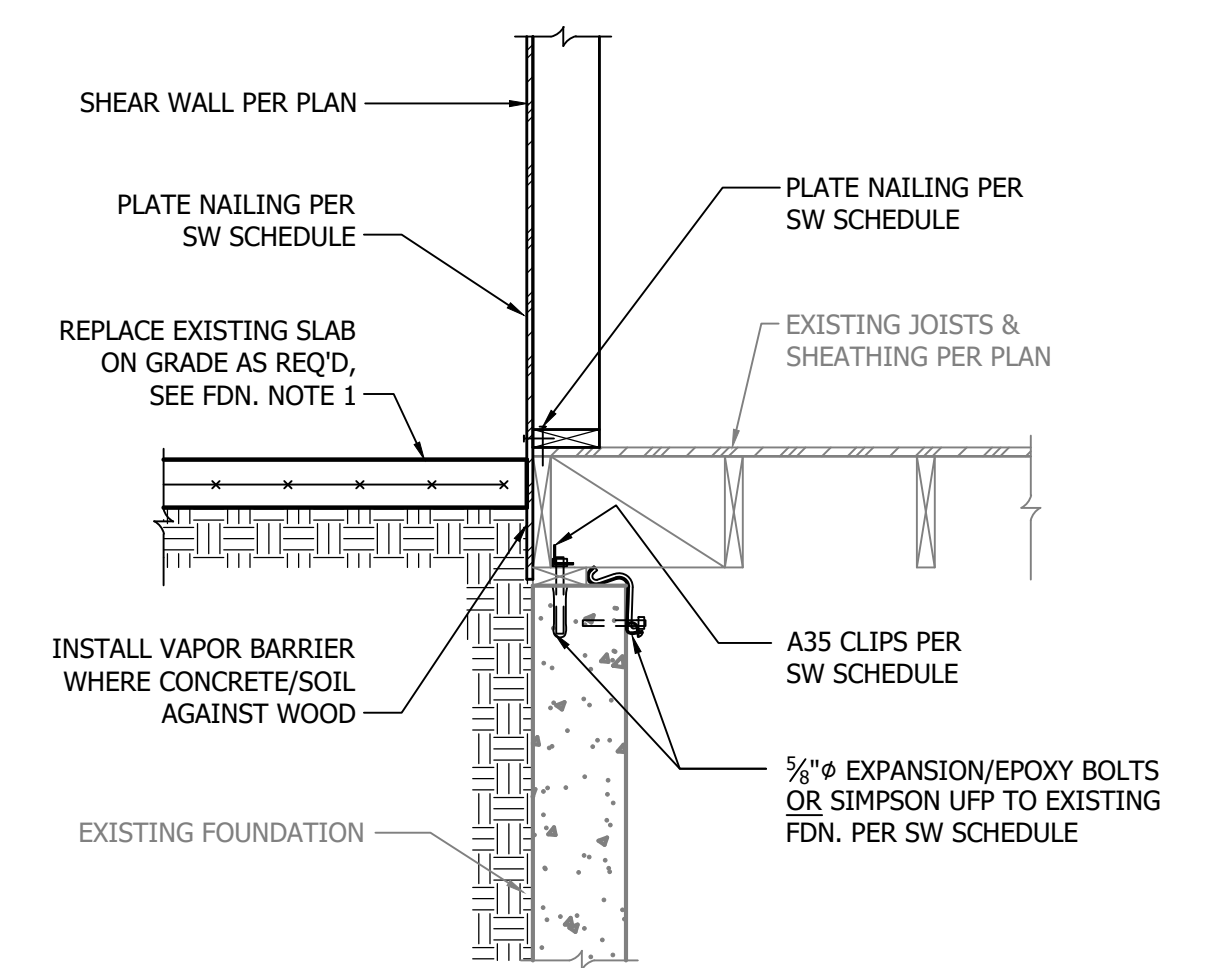
9 Existing 2x Joist Perp. to Existing Foundation  
3/4" = 1'-0"



10 Existing 2x Joist Parallel to Existing Foundation  
3/4" = 1'-0"



11 Existing 2x Joist Perp. to Garage  
3/4" = 1'-0"

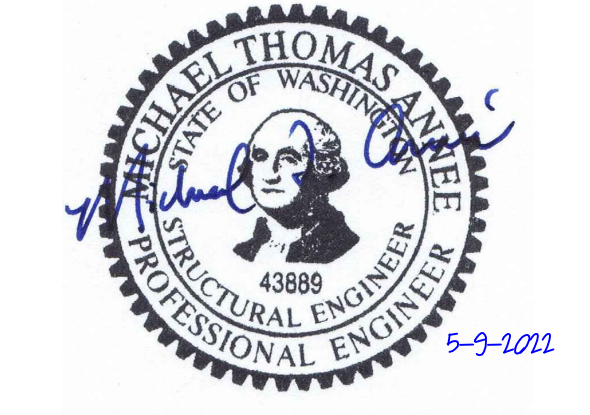


12 Existing 2x Joist Parallel to Garage  
3/4" = 1'-0"



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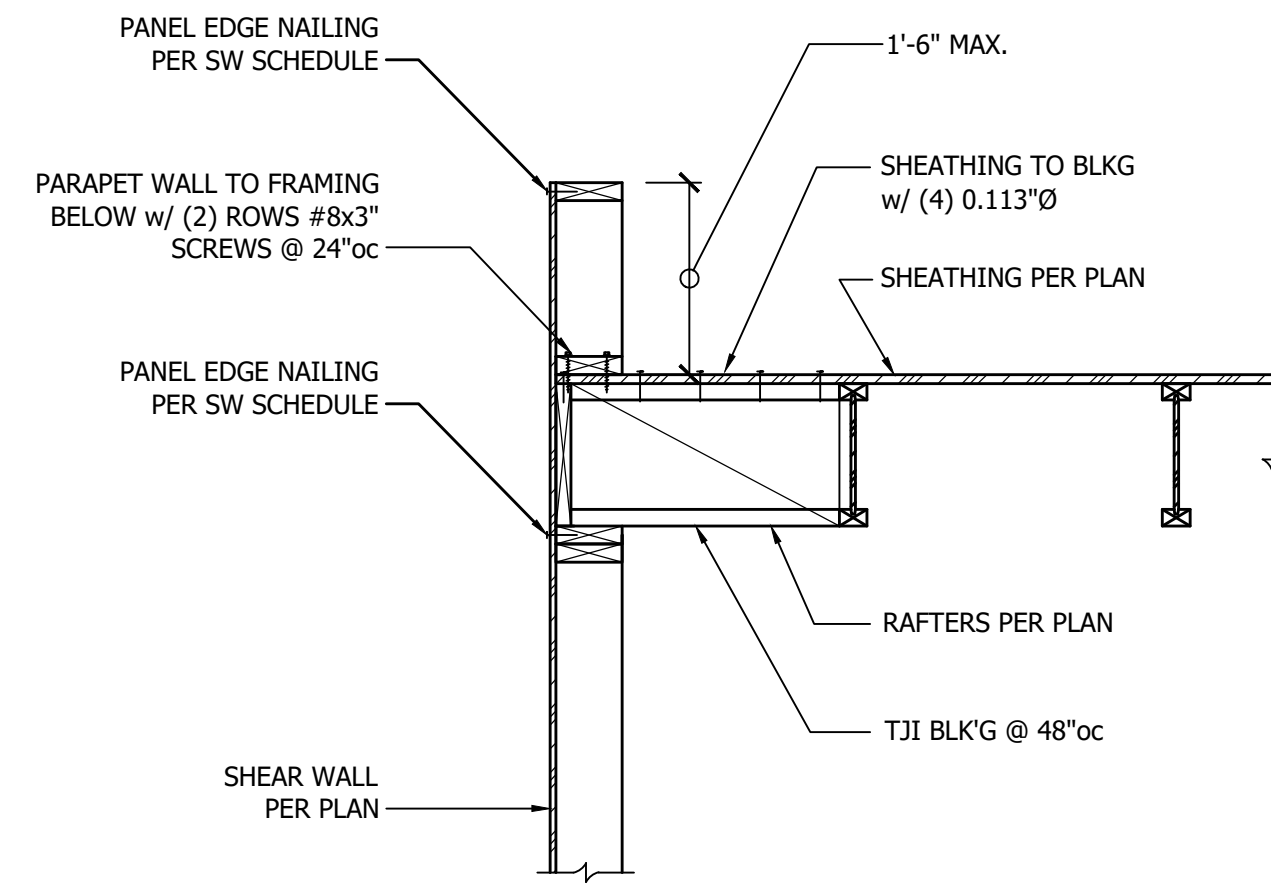
4244 Shoreclub Drive, Mercer Island, WA 98040

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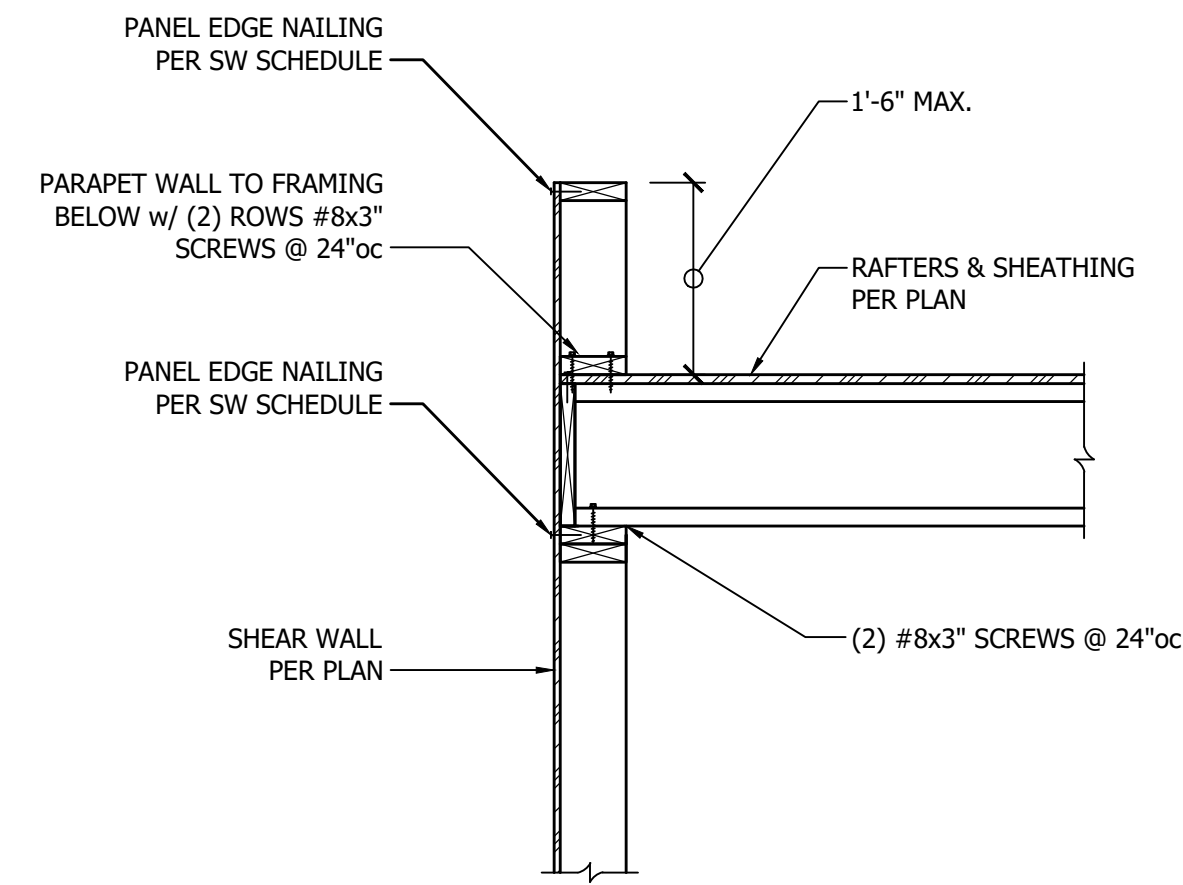
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Structural Details

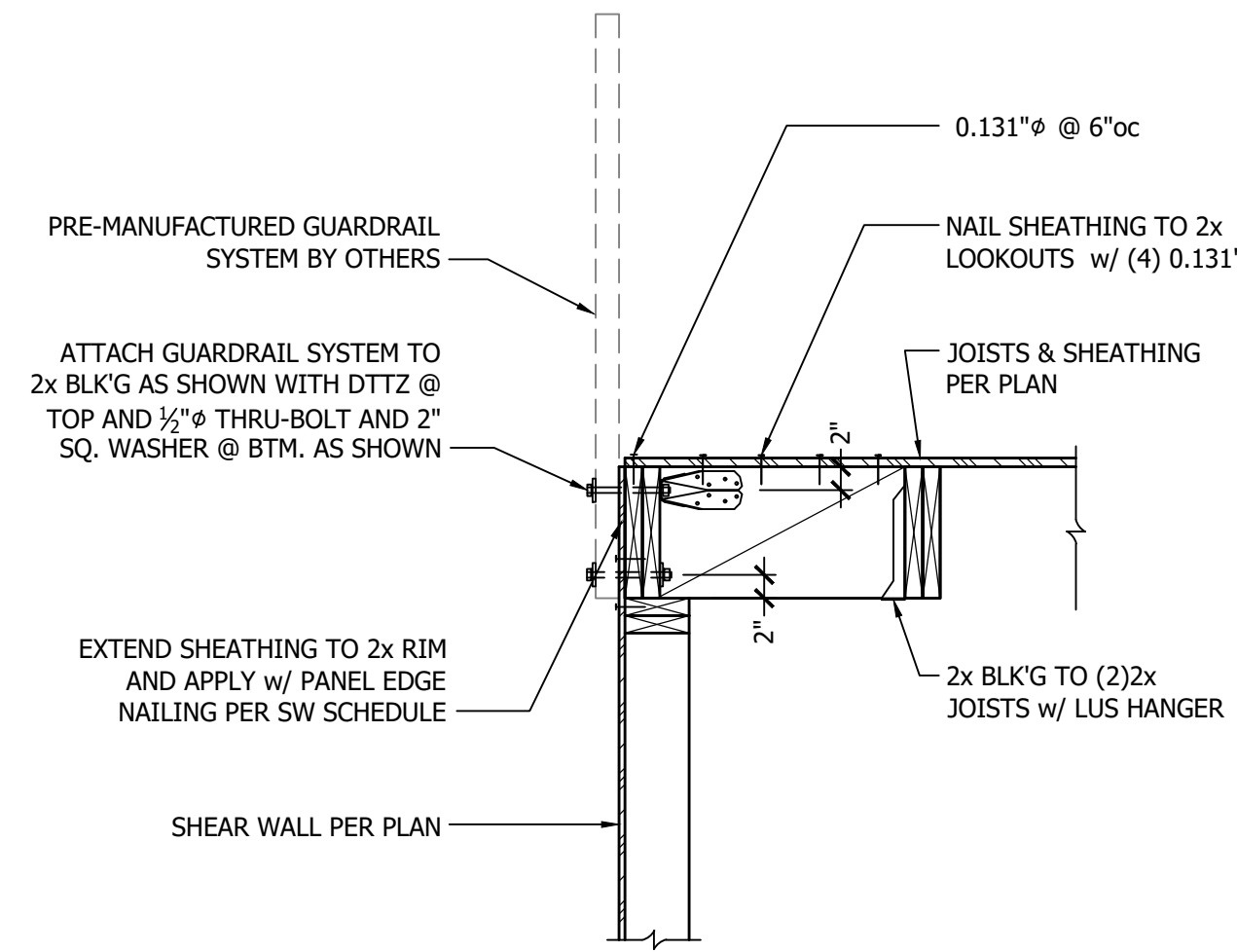
S3.1



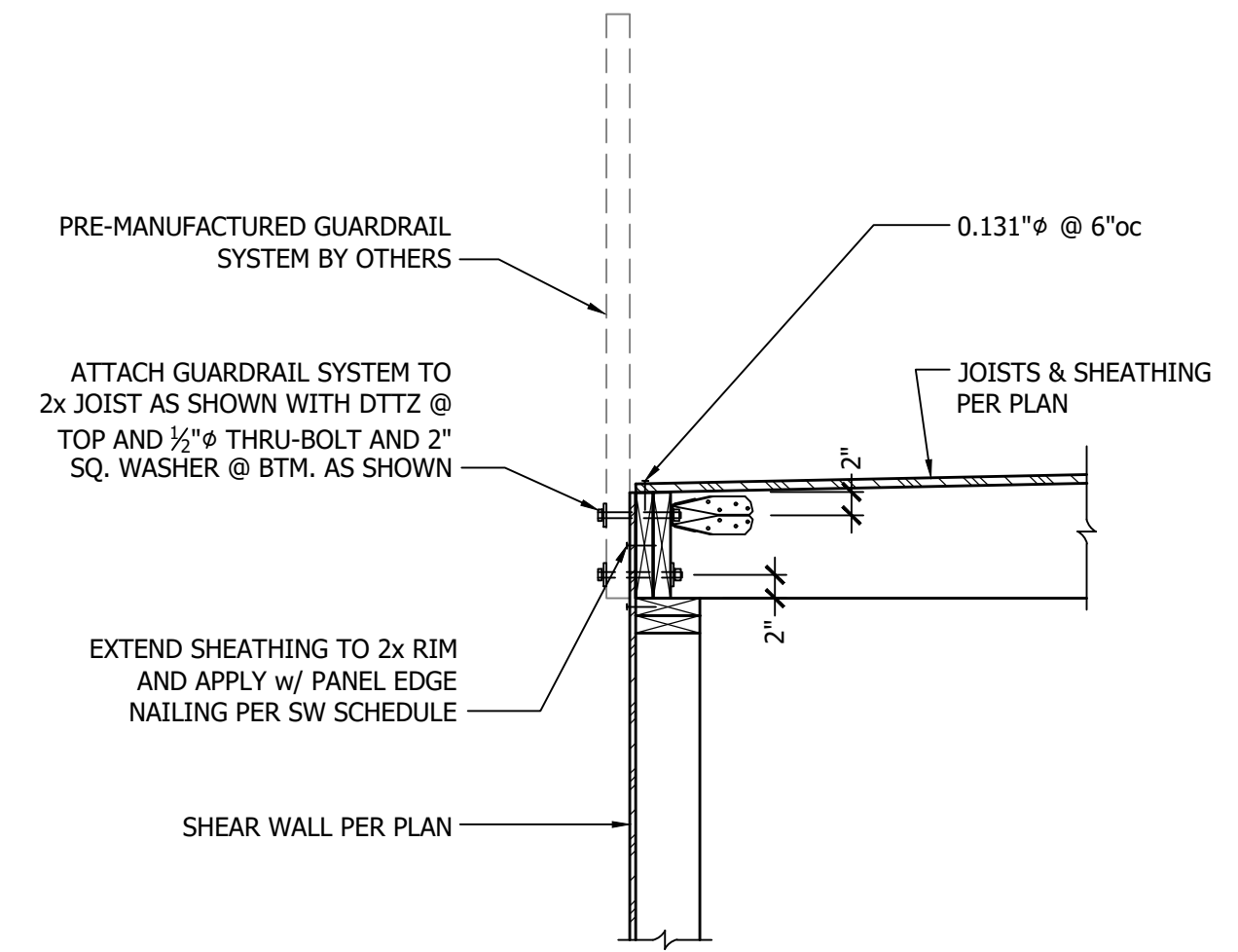
**1** TJI Rafters Parallel to Penthouse Wall  
3/4" = 1'-0"



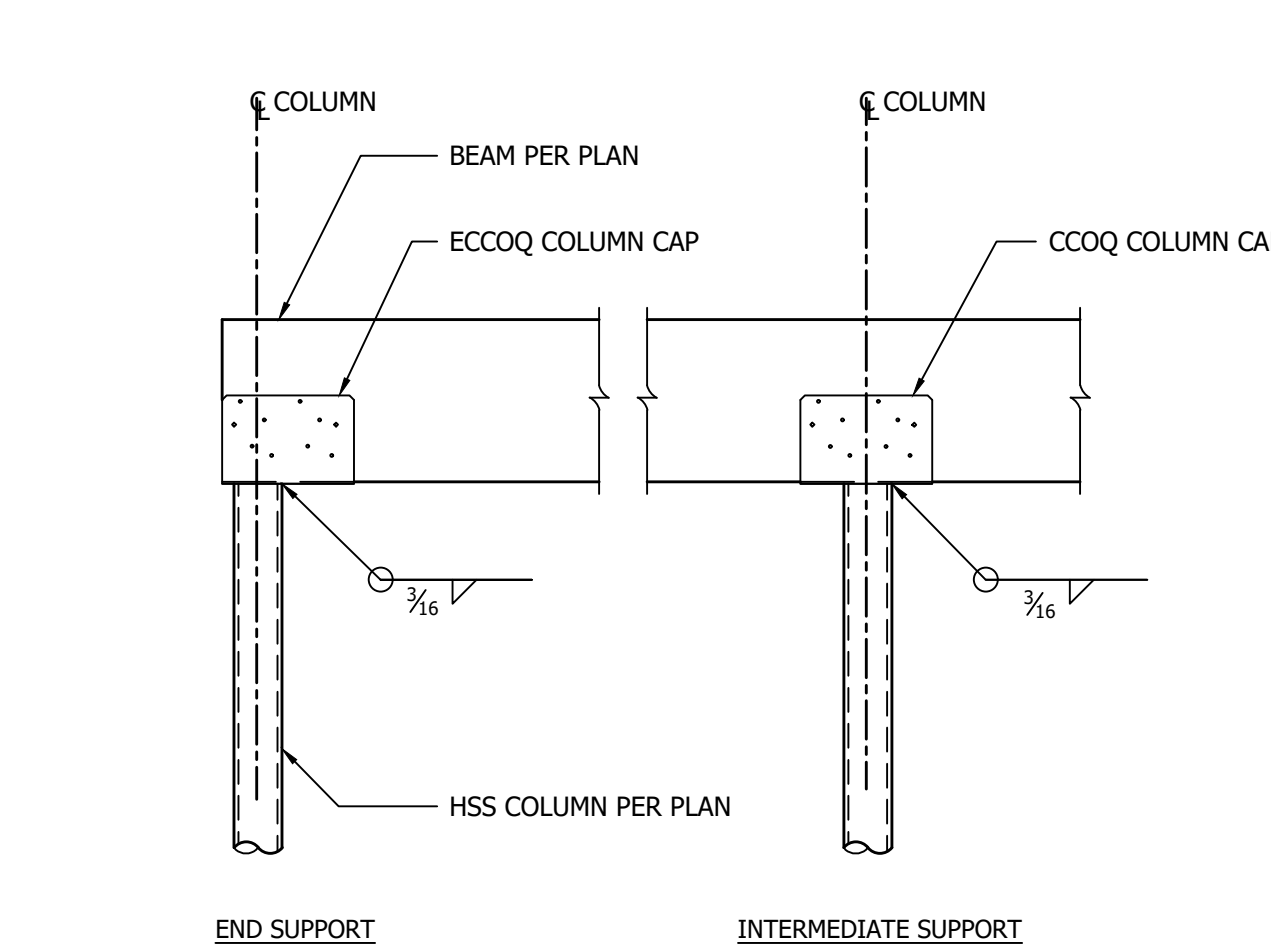
**2** TJI Rafters Perpendicular to Penthouse Wall  
3/4" = 1'-0"



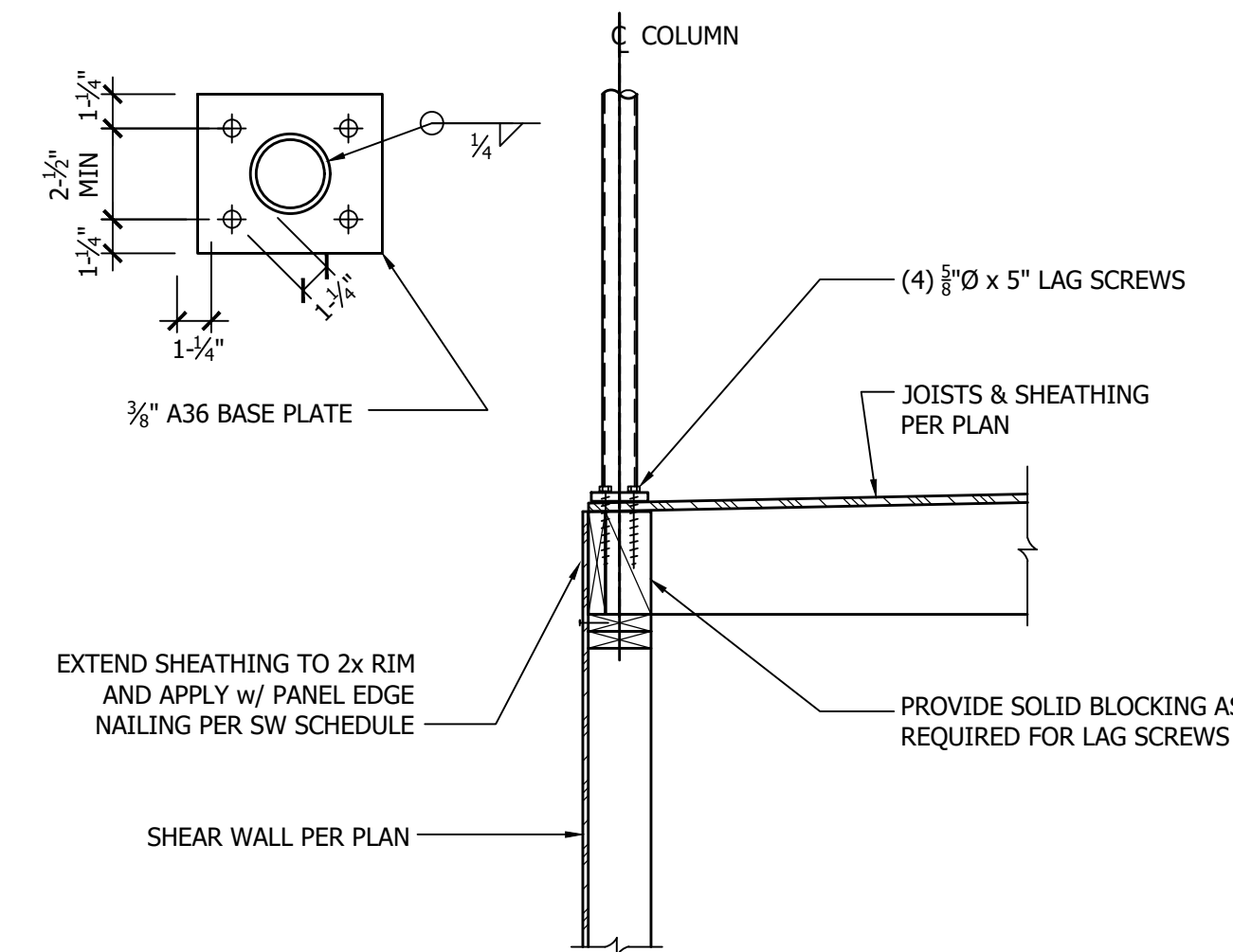
**3** 2x Deck Joists Parallel to Exterior Wall  
3/4" = 1'-0"



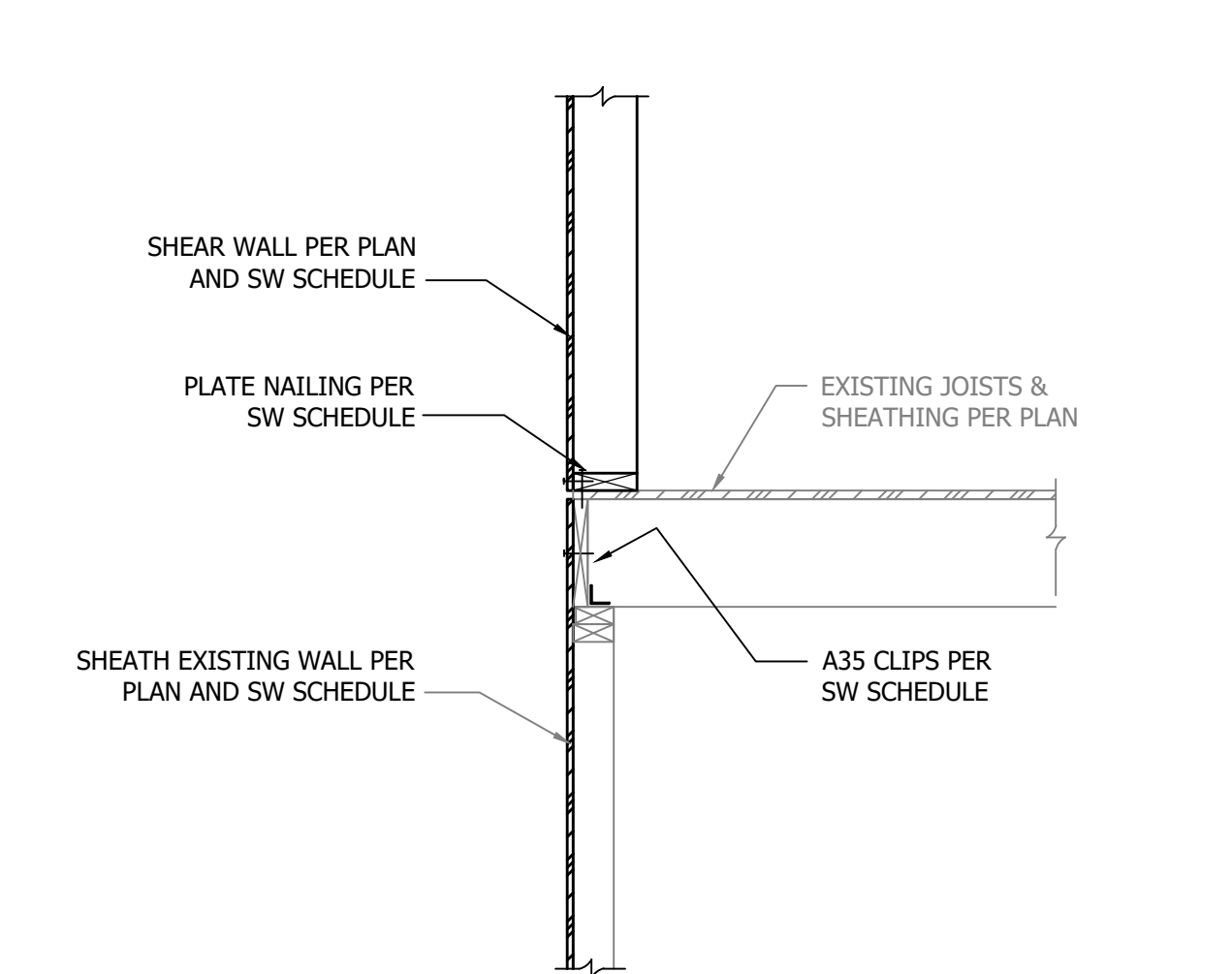
**4** 2x Deck Joists Perp. to Exterior Wall  
3/4" = 1'-0"



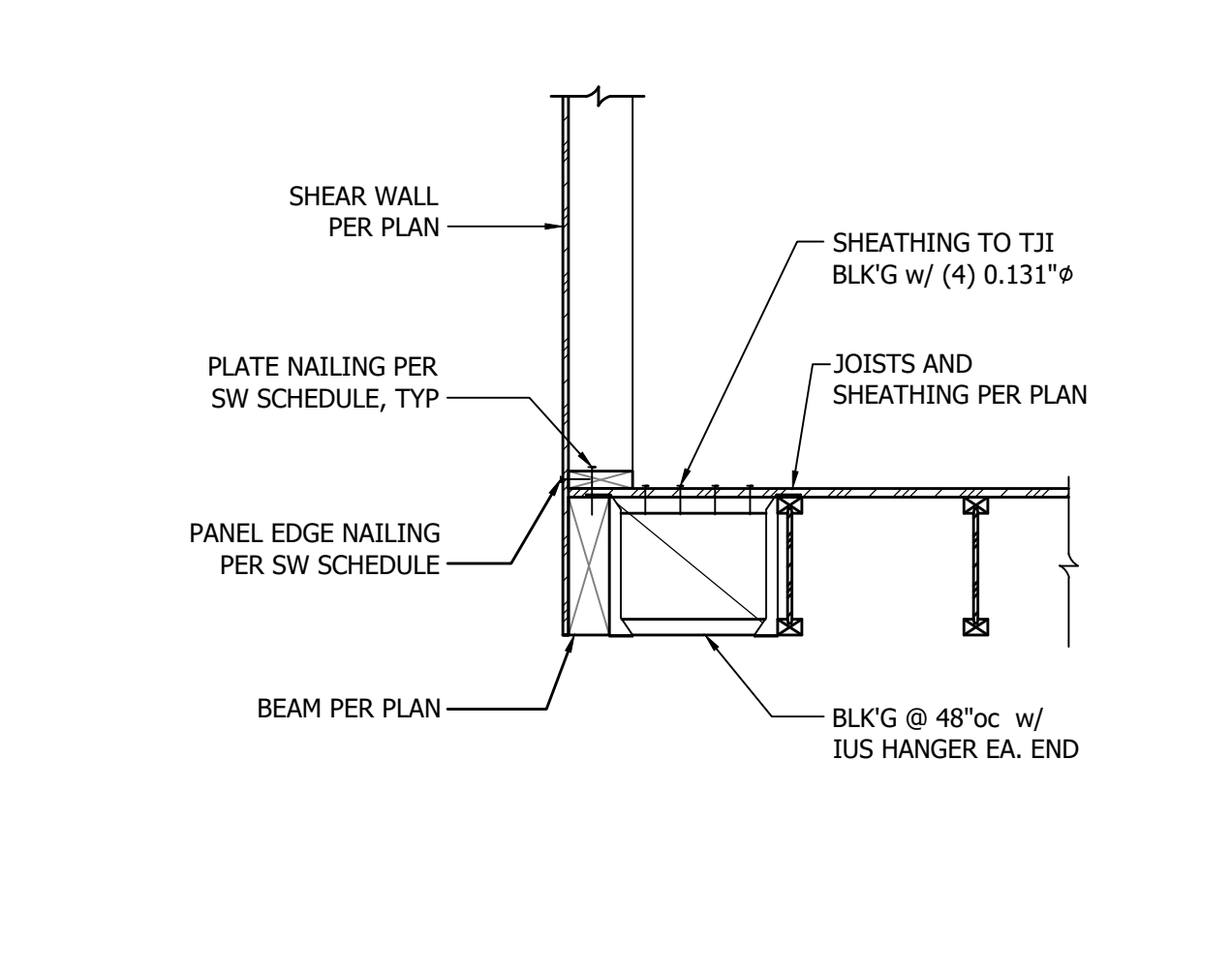
**5** Wood Beam to Steel Column, Typ.  
3/4" = 1'-0"



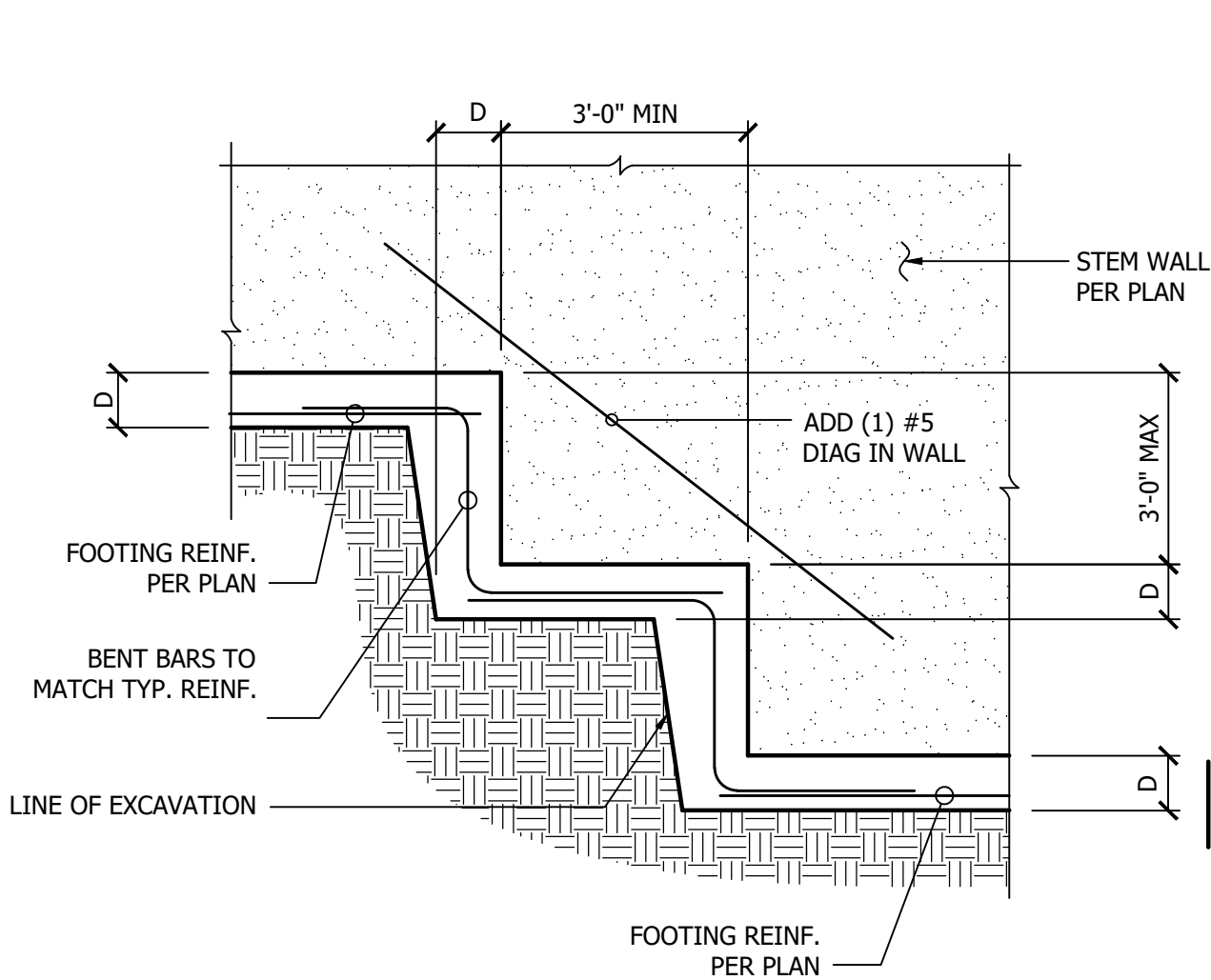
**6** Steel Column Base Plate to Wood Framing  
3/4" = 1'-0"



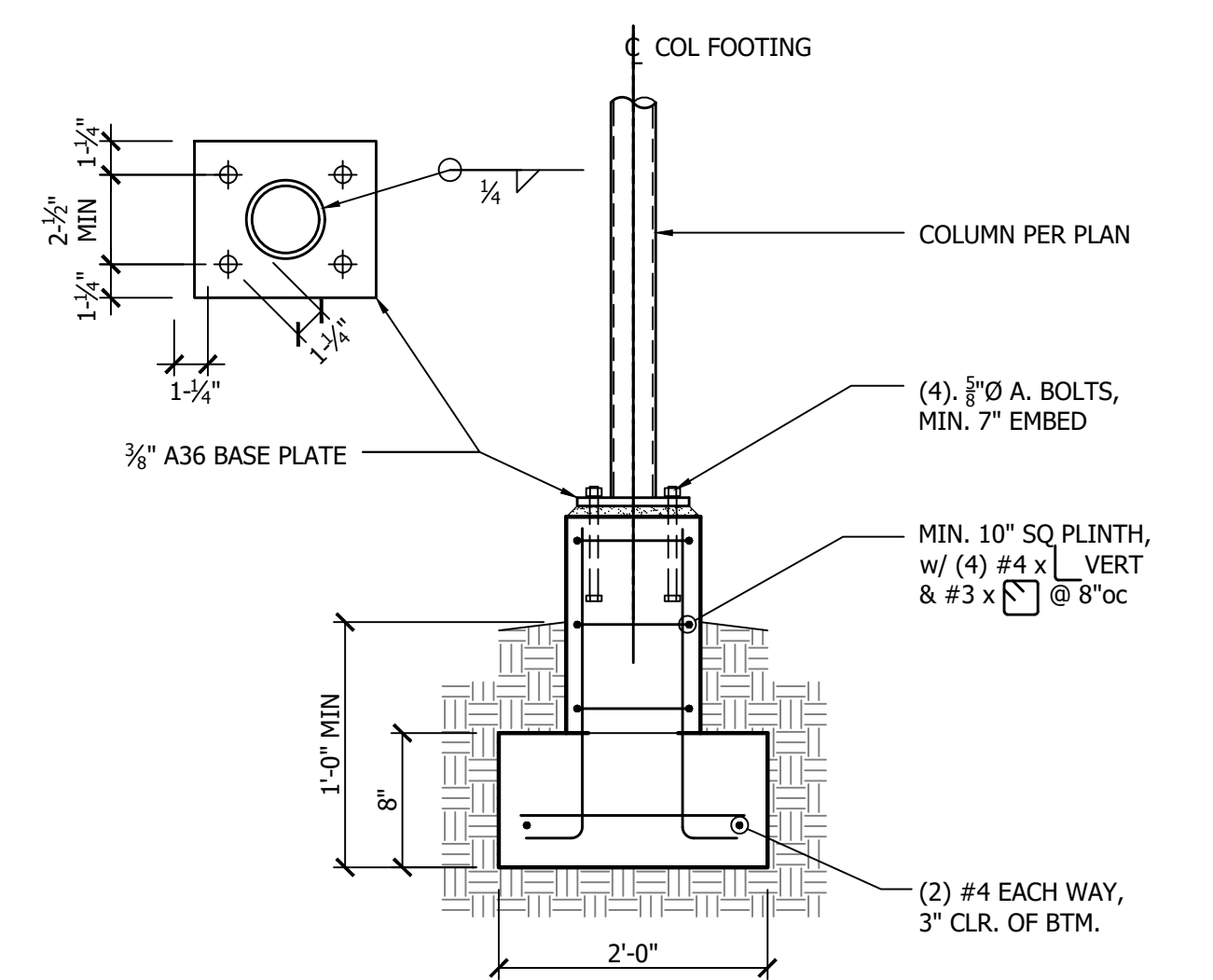
**7** Existing 2x Joist Perp. to Exterior Wall  
3/4" = 1'-0"



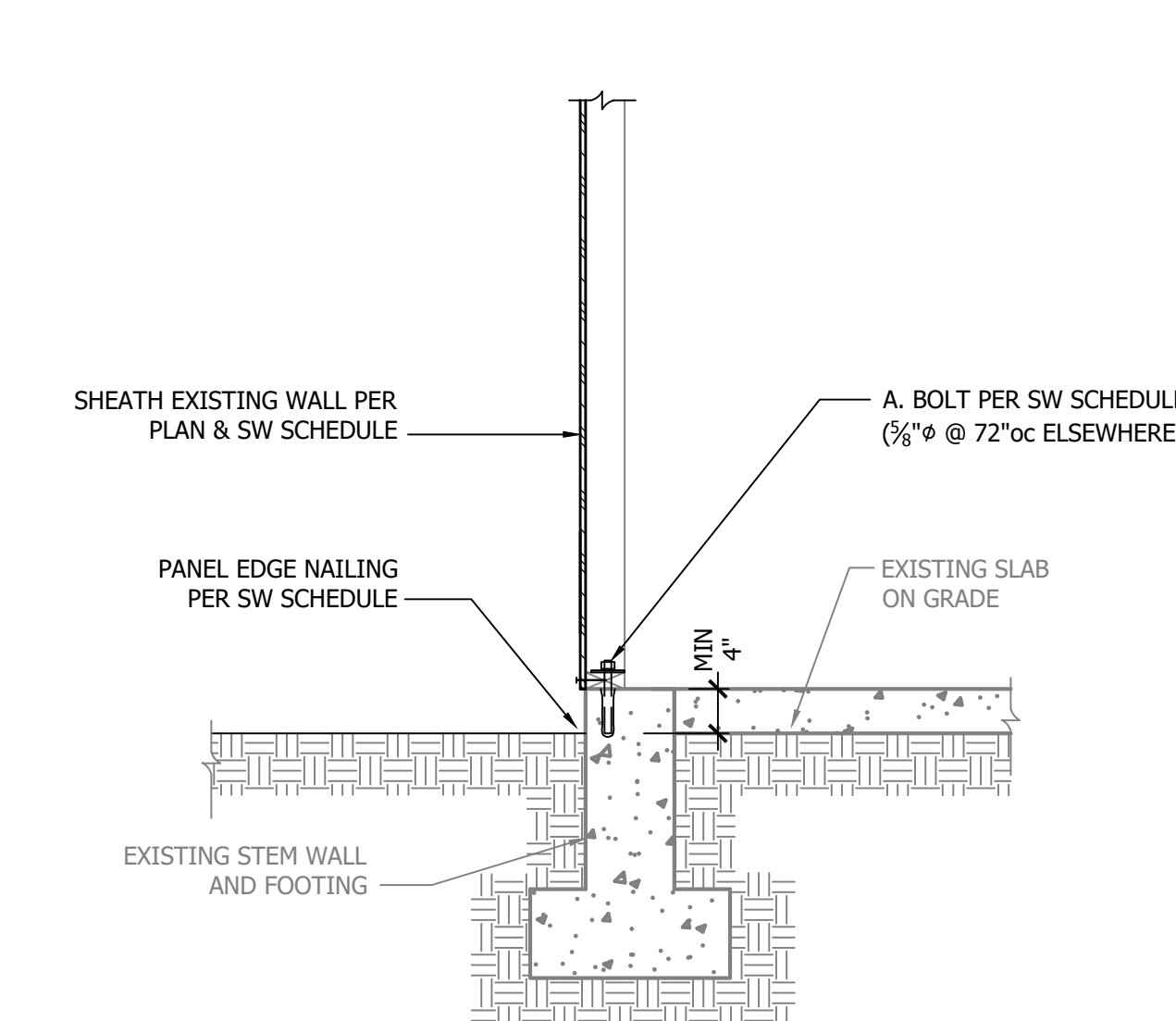
**8** Flush Header at Exterior Wall  
3/4" = 1'-0"



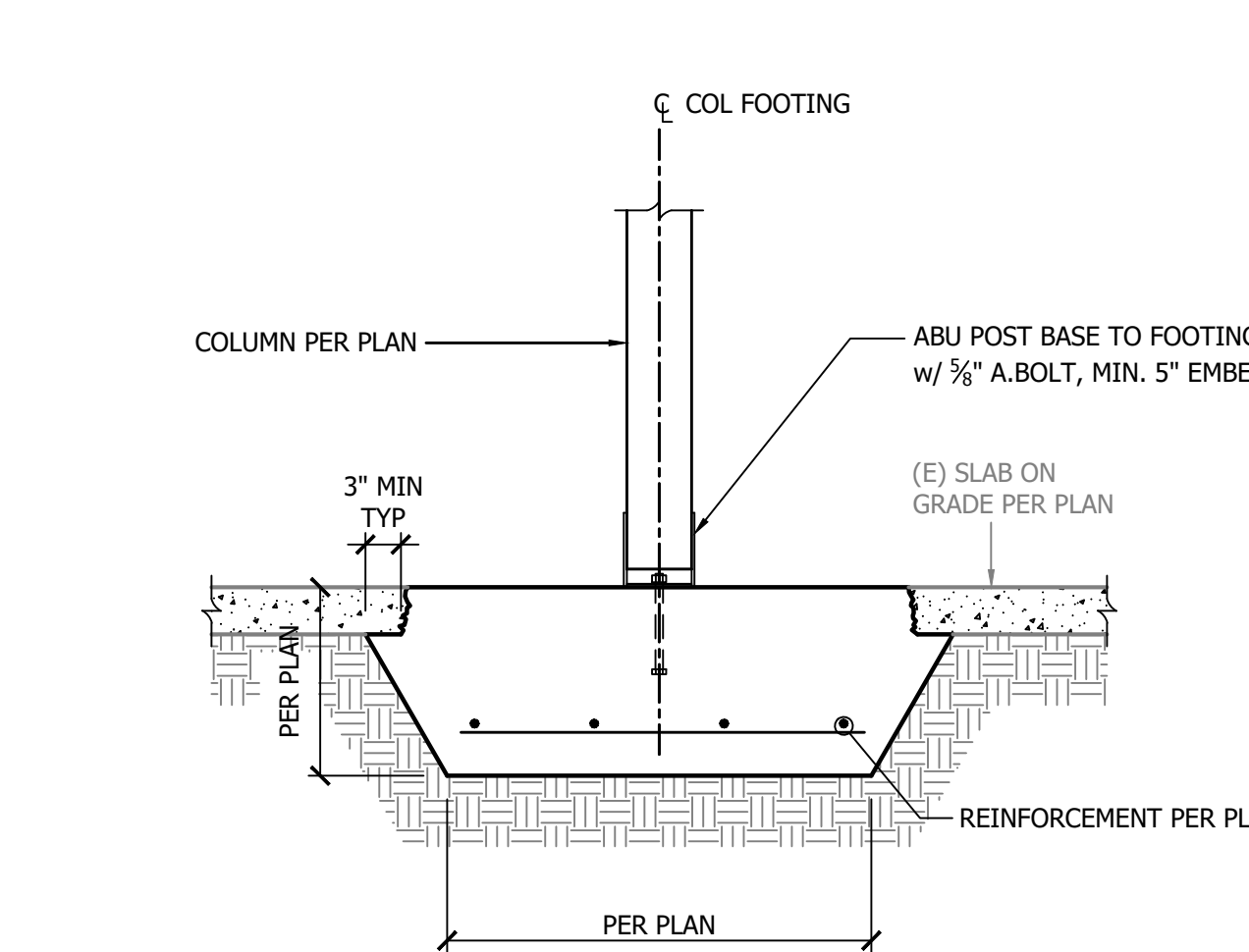
**9** Stepped Footing, Typ.  
3/4" = 1'-0"



**10** Steel Column Footing  
3/4" = 1'-0"



**11** Existing Wall to Exterior Foundation Wall  
3/4" = 1'-0"

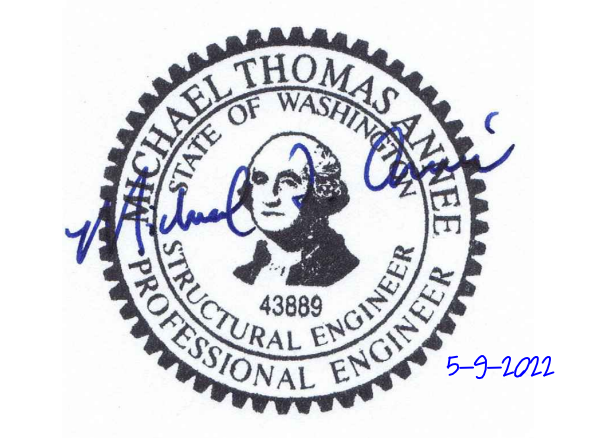


**12** Isolated Post Footing @ Existing SOG  
1-1/2" = 1'-0"



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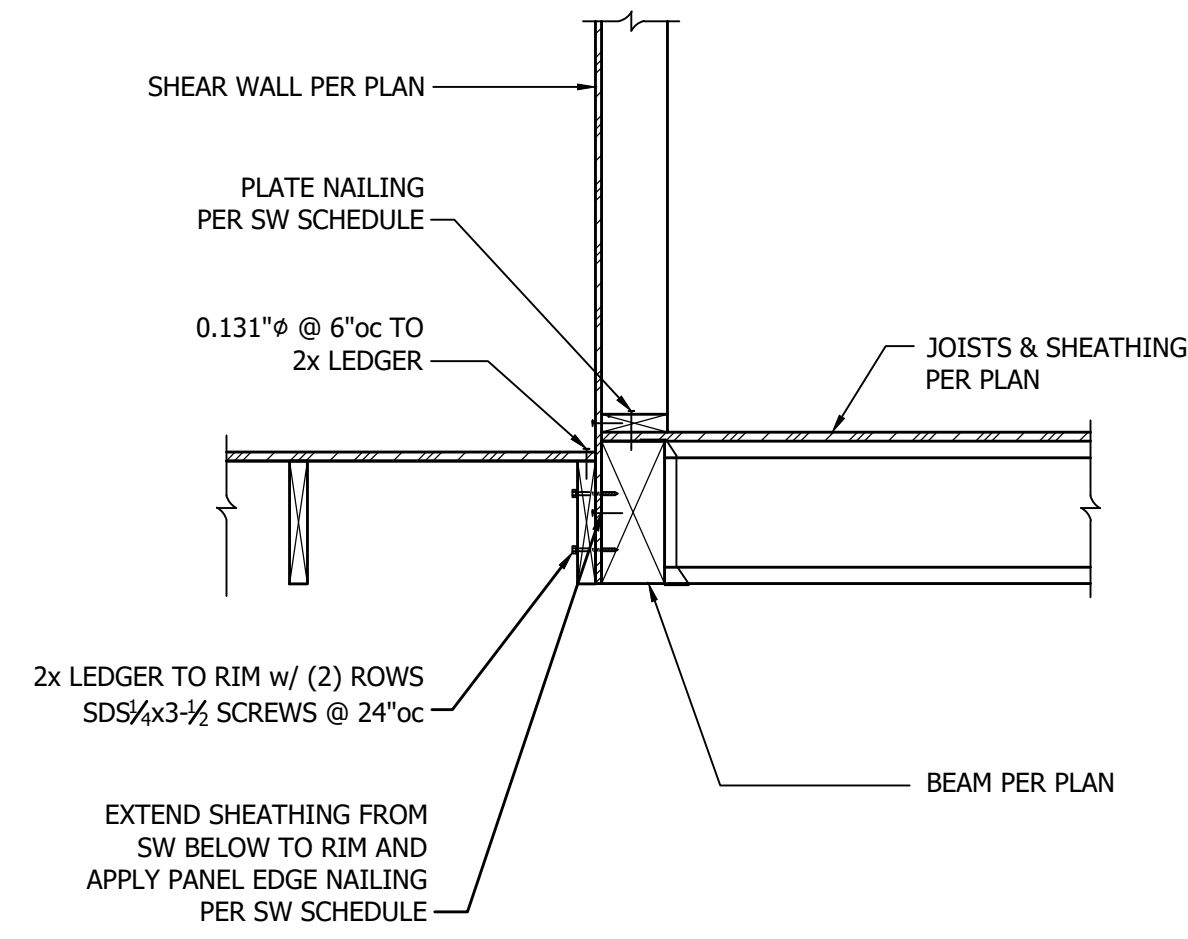
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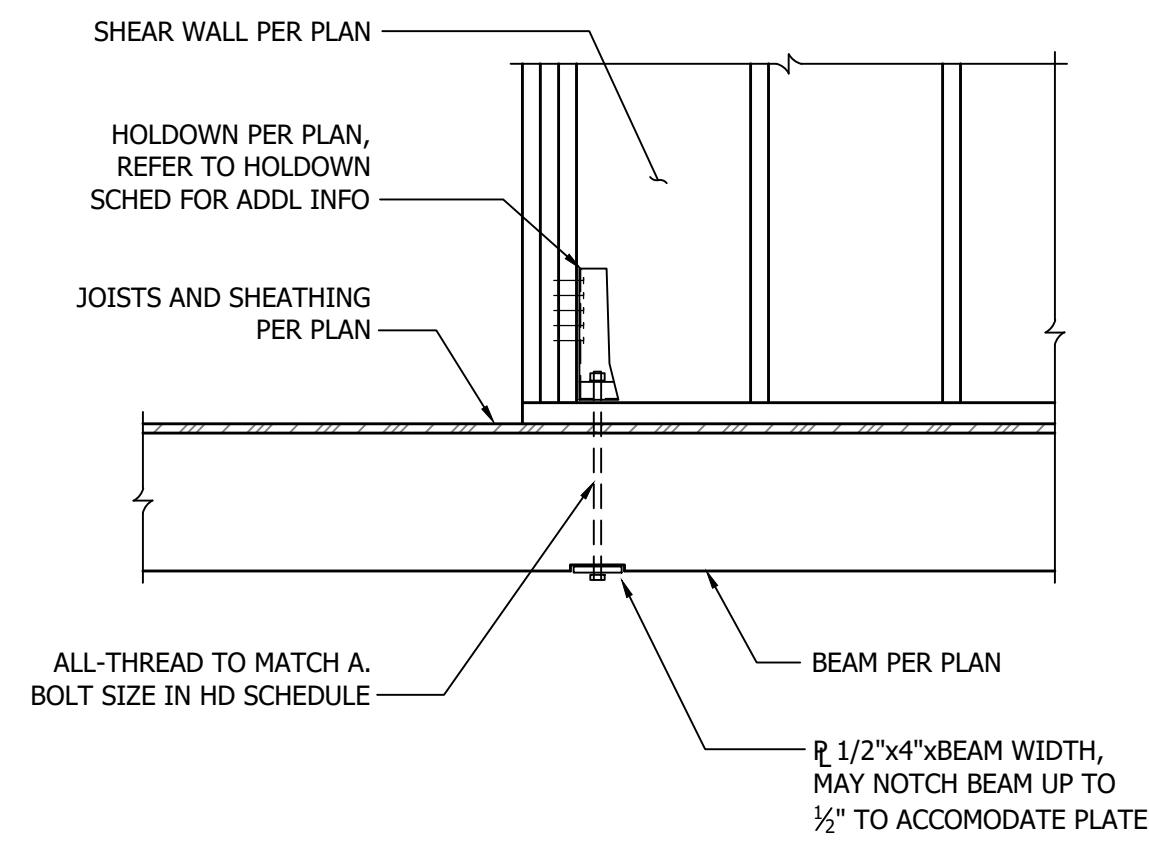
Structural Details

S3.2

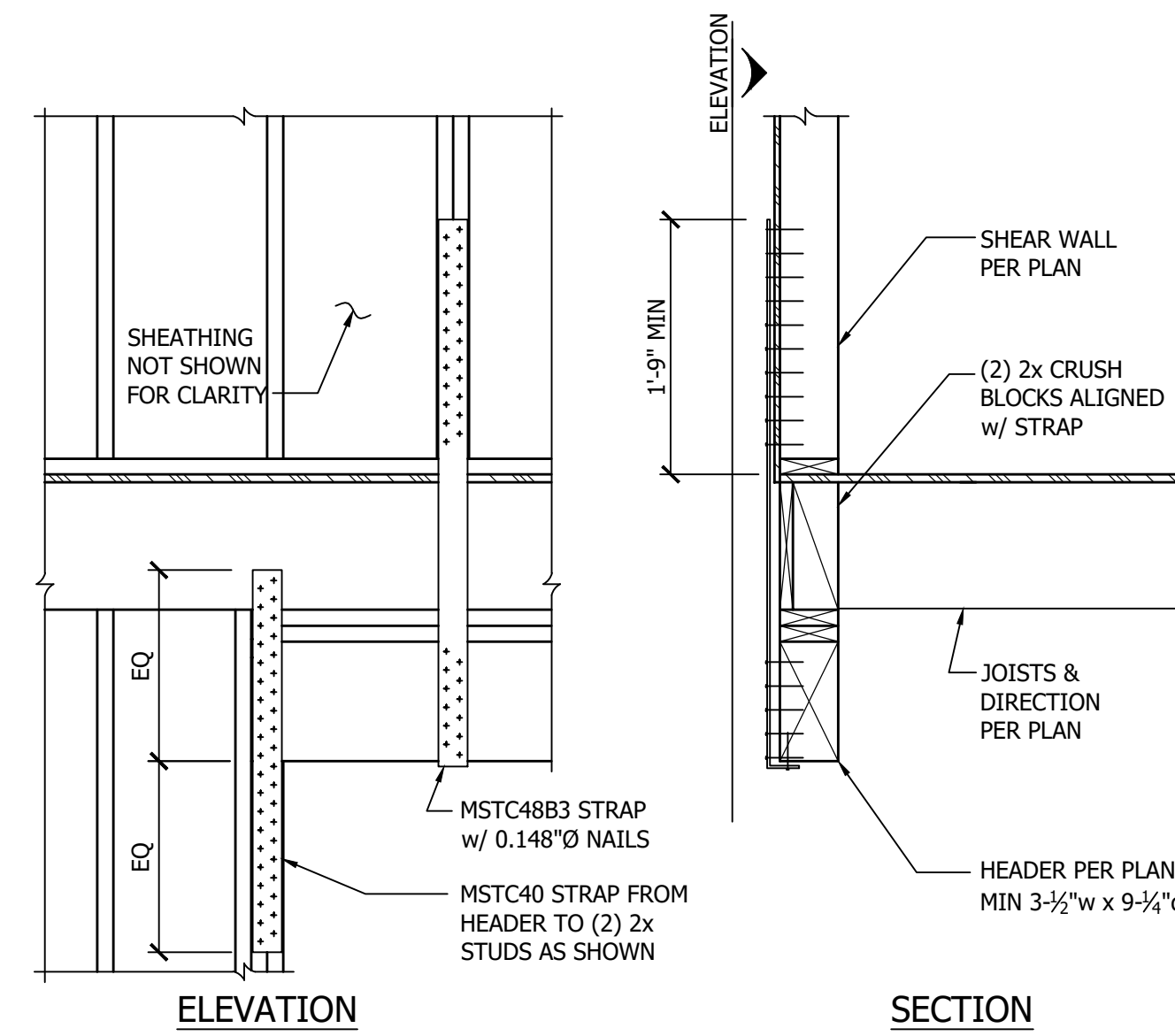




1 Deck Joists Parallel to Floor Framing  
3/4" = 1'-0"



2 HD-to-Beam  
3/4" = 1'-0"

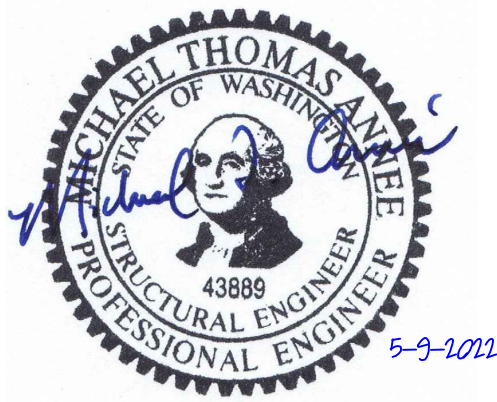


3 Strap to Header, Typ.  
3/4" = 1'-0"



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Structural Details

S3.3